

THE GREENS

PLATE 148, BLOCK 14801, LOT 12

MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PRELIMINARY/FINAL MAJOR SUBDIVISION PLAN

PROPERTY OWNERS LIST

MONROE TOWNSHIP - WASHINGTON TOWNSHIP
(March 3, 2020)

MONROE TOWNSHIP		WASHINGTON TOWNSHIP	
BLOCK	LOT NAME/ADDRESS	BLOCK	LOT NAME/ADDRESS
142.01	1,2,3 HAYWOOD STIRLING GLEN LLC 900 BIRCHFIELD DRIVE MT. LAUREL, NJ 08054	85.09	1 MAGLIO, PATRICIA A. 2 APPLETREE LAKE SEWELL, NJ 08080
142.01	1.01 BROODS, DONALD AND EVELYN 2898 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.09	2 HUESER, THOMAS B. & JANE C. APPLETREE LAKE SEWELL, NJ 08080
142.01	1.02 BROODS, DONALD H. AND MICHELLE 2894 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.09	46.01 TOWNSHIP OF WASHINGTON PO BOX 1106 TURNERSVILLE, NJ 08012
142.01	1.03 MISURACO, EVA M. 2848 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.14	41 KERRIGAN, ROBERT M. & ANITA B. 3 APPLETREE LAKE SEWELL, NJ 08080
142.01	4 CORDON, MARCO H. & WESLEY D. 12 SPRING DRIVE WILLIAMSTOWN, NJ 08094	85.14	42 SCHERER, FRANK 33 CLEMENS LAKE TURNERSVILLE, NJ 08012
142.01	5 MADDOX, MICHAEL P. & SUSAN V. 18 HOPKIN DRIVE WILLIAMSTOWN, NJ 08094	85.14	43 TOWNSHIP OF WASHINGTON PO BOX 1109 TURNERSVILLE, NJ 08012
14701	1 AMERI AUTO INC. 235 WILLIAMSTOWN ROAD BETHUN, NJ 08009	85.19	71 MINTON, BRIAN & MARIA 22 ORCHARDVIEW DRIVE WILLIAMSTOWN, NJ 08094
14701	1.02 CAROZZO, DOMENIC J. & LISA & SOMECIA 2922 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.21	7 THE TRINITY FAMILY LP 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094
14801	10, 11, 13 KLAN, EDWARD F. JR. & TERESA M. 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.21	14 CHAI, ADEL GAO & BENYAMIN, GHAN 21 ORCHARDVIEW DRIVE SEWELL, NJ 08080
14801	12.01 12.02 MONROE EQUITIES, LLC C/O CVS 1 CVS DRIVE WOODSOCKET, NJ 02895		
14801	13.02 2795 BURGO, LINDA & MICHAEL C. FRIES MILL ROAD WILLIAMSTOWN, NJ 08094		

UTILITY COMPANIES

ELECTRIC
ATLANTIC CITY ELECTRIC
JOSEPH B. RINDS, MGR.
5100 HARDING HIGHWAY
MAYS LANDING, NJ 08330

PSE&G
MANAGER-CORPORATE
PROPERTIES
80 PARK PLAZA, T6B
NEWARK, NJ 07102

GAS COMPANY
SOUTH JERSEY GAS
1 SOUTH JERSEY PLAZA
FOLSOM, NJ 08037

CABLE
COMCAST CABLE CO.
301 SOUTH MAIN ROAD
VINELAND, NJ 08360
ATTN: CONSTRUCTION
DEPARTMENT

TELEPHONE
VERIZON NEW JERSEY
9 GATES AVENUE
MONTCLAIR, NJ 07042

SEWER & WATER DEPT
MONROE MUA
372 SOUTH MAIN STREET
WILLIAMSTOWN, NJ 08094

GAS
PSE&G
MANAGER-CORPORATE
PROPERTIES
80 PARK PLAZA, T6B
NEWARK, NJ 07102

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

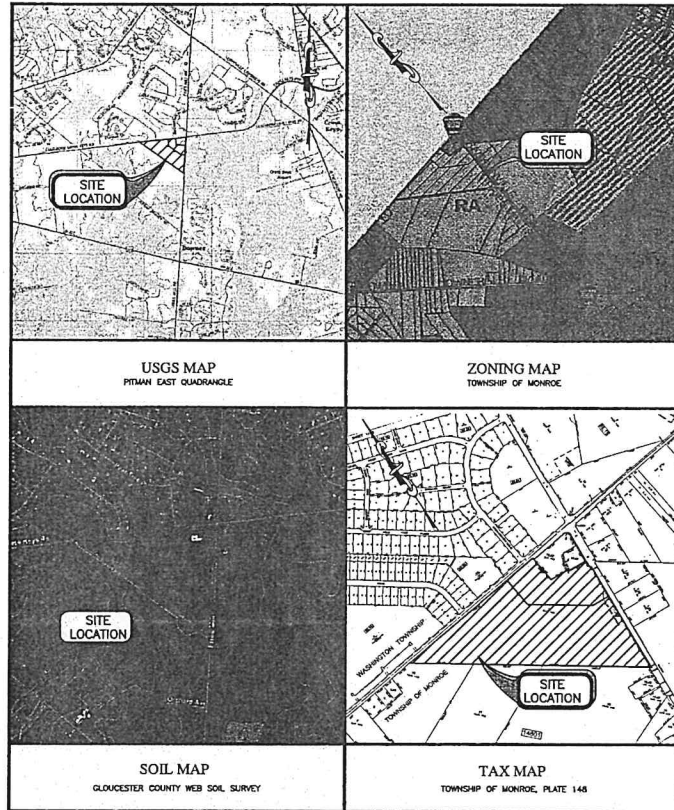
GLOUCESTER ENGINEER _____ DATE _____

GLOUCESTER COUNTY PLANNING BOARD CHAIRMAN _____ DATE _____

I HEREBY CERTIFY THAT I AM THE OWNER AND APPLICANT OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

OWNER/APPLICANT NAME _____ DATE _____

OWNER/APPLICANT:
N.W.D. DEVELOPMENT, L.L.C.
701 COOPER STREET, SUITE 7, VOORHEES, NEW JERSEY
856.346.4400



INDEX OF SHEETS

SHT. NO.	DESCRIPTION	ORIG. DATE	LAST REV.
1.	COVER SHEET	04/01/20	06/24/20
2.	EXISTING CONDITIONS/DEMOLITION PLAN - SHEET A	04/01/20	
3.	EXISTING CONDITIONS/DEMOLITION PLAN - SHEET B	04/01/20	
4.	SURROUNDING SITE FEATURES PLAN	04/01/20	
5.	OVERALL DEVELOPMENT SECTIONING/TRAFFIC CIRCULATION PLAN	04/01/20	06/24/20
6.	SUBDIVISION PLAN - SHEET A	04/01/20	06/24/20
7.	SUBDIVISION PLAN - SHEET B	04/01/20	06/24/20
8.	SUBDIVISION PLAN - SHEET C	04/01/20	06/24/20
9.	GRADING & DRAINAGE PLAN - SHEET A	04/01/20	06/24/20
10.	GRADING & DRAINAGE PLAN - SHEET B	04/01/20	06/24/20
11.	UTILITY PLAN - SHEET A	04/01/20	06/24/20
12.	UTILITY PLAN - SHEET B	04/01/20	06/24/20
13.	DRAINAGE DIVIDE PLAN - SHEET A	04/01/20	
14.	DRAINAGE DIVIDE PLAN - SHEET B	04/01/20	06/24/20
15.	LANDSCAPING & LIGHTING PLAN - SHEET A	04/01/20	06/24/20
16.	LANDSCAPING & LIGHTING PLAN - SHEET B	04/01/20	06/24/20
17.	LANDSCAPING & LIGHTING NOTES & DETAILS	04/01/20	06/24/20
18.	ROAD PROFILES	04/01/20	
19.	PROFILES	04/01/20	
20.	PROFILES	04/01/20	
21.	CONSTRUCTION DETAILS - SHEET A	04/01/20	
22.	CONSTRUCTION DETAILS - SHEET B	04/01/20	
23.	STORM SEWER DETAILS - SHEET A	04/01/20	
24.	STORM SEWER DETAILS - SHEET B	04/01/20	
25.	STORM SEWER DETAILS - SHEET C	04/01/20	
26.	SANITARY SEWER DETAILS	04/01/20	
27.	WATER DETAILS	04/01/20	
28.	SOIL EROSION SEDIMENT CONTROL PLAN - SHEET A	04/01/20	06/24/20
29.	SOIL EROSION SEDIMENT CONTROL PLAN - SHEET B	04/01/20	06/24/20
30.	SOIL EROSION SEDIMENT CONTROL NOTES & DETAILS	04/01/20	
31.	TEST PIT LOGS	04/01/20	

SITE DATA

- THE PROPERTY IN QUESTION IS KNOWN AS LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
- PROPERTY IN QUESTION CONTAINS: 38.982 AC.
- PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL.
- PRESENT LAND USE: VACANT
- PROPOSED LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (39-TRIPLEX BUILDINGS) ON 31.31 ACRES, NEIGHBORHOOD COMMERCIAL ON 7.67 AC.
- EXISTING LOTS: 1 PROPOSED LOTS: 133
- OUTBOUND AND TOPOGRAPHY IS BASED UPON PLAN ENTITLED PLAN OF SURVEY & TOPOGRAPHY, THE GREENS, PLATE 148, BLOCK 14801, LOT 12, MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY PREPARED BY CONSULTING ENGINEER SERVICES, DATED 03/31/20.
- FIELD INSPECTION AND LOCATIONS PERFORMED BY CONSULTING ENGINEER SERVICES, DECEMBER 2019.
- THERE ARE NO WETLANDS ON SITE AS PUBLISHED ON NJDEP NJ-DEWEL.
- VERTICAL DATUM SHOWN IS NAVD83, BASED UPON GPS OBSERVATIONS AND CORSPOSS CONVERSION. TO CONVERT ELEVATIONS TO MARS, SUBTRACT 1.35 FEET FROM ELEVATIONS SHOWN HEREON.
- HORIZONTAL DATUM SHOWN HEREON IS NAD83, REFERENCED TO DEED BOOK 5606, PAGE 316, RECORDED IN 2017.
- TRASH REMOVAL AND RECYCLING OPERATIONS FOR THIS SITE MUST ADHERE TO THE TOWNSHIP ORDINANCE.
- THE CONTRACTOR IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (4) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSH COMPLIANT PERSON).
- AERIAL IMAGE FROM THE NJCN 2015 ORTHOMOGRAPHY, SOIL INFORMATION TAKEN FROM THE SOIL SURVEY GEOGRAPHIC (SSURGO) DATABASE, DEVELOPED AND MAINTAINED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS).
- PROPERTY IS LOCATED ENTIRELY WITHIN ZONE "X" AREA OF MINIMAL FLOODING, AS PER FEMA TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY, FIRM COMMUNITY PANEL NUMBER 3401500208E, PANEL 208 OF 320, DATED 01/20/2016.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW," OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARK OUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.

DESCRIPTION	REQUIRED	PROPOSED	Y
MINIMUM TRACT AREA	20 AC	31.31 AC	
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	
MINIMUM LOT AREA	2,000 SF	2,000 SF+	
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR) 4,675 SF (END UNIT)	X
MINIMUM LOT DEPTH	100 FT	110 FT	
MINIMUM LOT WIDTH	20 FT	30 FT	
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (END UNITS)	25 FT	12.5 FT	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	
MINIMUM WALL TO ROW OR PAVEMENT	12 FT	12 FT	
MINIMUM BLDG WALL TO PERMETER LOT LINE	50 FT	50 FT	
VARIETY OF UNIT WIDTHS	20-24 FT (20%+80%) 28-30 FT (20%)	30 FT ALL UNIT 30 FT ALL UNITS	X
MAXIMUM LOT COVERAGE	75%	75%	
MAXIMUM BLDG HEIGHT	35 FT	35 FT	
MAXIMUM UNITS PER BUILDING	10 UNITS	3 UNITS	
BUFFERS	50 FT	50 FT	
OPEN SPACE (RESIDENTIAL)	35% TRACT	45% (BARRIAGE REST'D TO INCLUDE STORM WATER MANAGEMENT FACILITIES IN OPEN SPACE CALC)	X

PARKING REQUIREMENTS:
REQUIRED: 2.4 SP PER 3 BDRM TWNHSX
2.4 SP/DU X 117 DU = 280.8 SPACES REQUIRED
PROVIDED: 1 GARAGE, 2 DRIVE PER UNIT = 3 SPACES (SP) PER DWELLING UNIT (DU)
3 SP/DU X 117 DU = 351 SP
ON STREET PARKING: 58
CLUB HOUSE: 2085 SF 28 SPACES
WALKER REQUESTED:

INDEX OF SHEETS

SHT. NO.	DESCRIPTION	ORIG. DATE	LAST REV.
1 OF 1	PLAN OF SURVEY & TOPOGRAPHY THE GREENS SUBDIVISION	03/31/20	
1 OF 4	FINAL PLAN OF LOTS - SECTION 1 - SHEET 1	04/02/20	06/24/20
2 OF 4	FINAL PLAN OF LOTS - SECTION 1 - SHEET 2	04/02/20	06/24/20
3 OF 4	FINAL PLAN OF LOTS - SECTION 2	06/24/20	
4 OF 4	FINAL PLAN OF LOTS - SECTION 3	06/24/20	

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
856.228.2200

COVER SHEET

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (856) 228-2200 - FAX (856) 232-2348 - EMAIL: ces@ces-nj.com
NJ CERTIFICATE OF AFFILIATION NO. 2400787700
SCALE: AS SHOWN. SEE PLAN NO. 224-02-02. FILE NO. 224-02-02-001
DRAWN BY: JAM



DATE: 06/13/20
PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

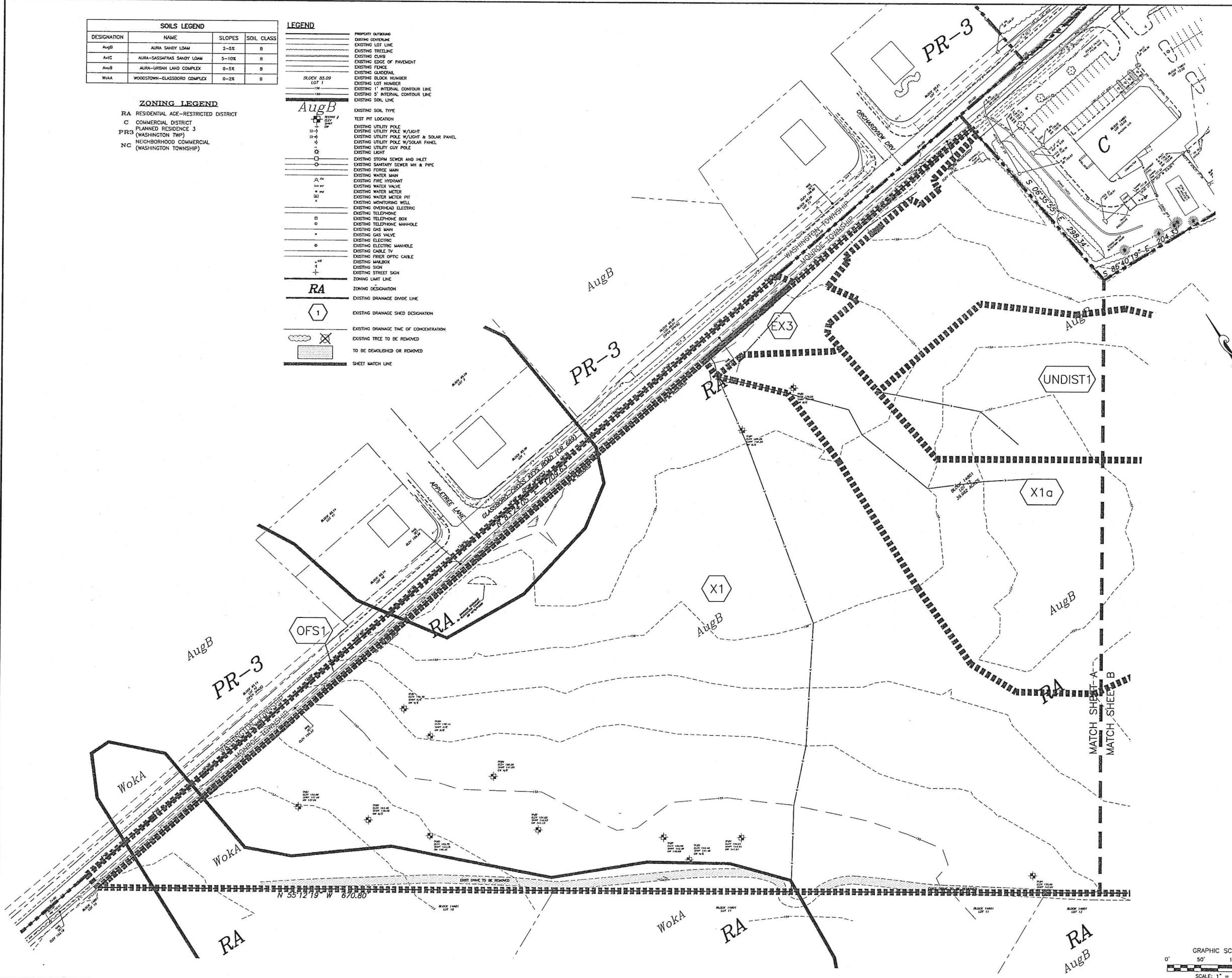
SOILS LEGEND			
DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AuIC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AuUB	AURA-URBAN LAND COMPLEX	0-5%	B
WokA	WOODSTOWN-GLASSBORO COMPLEX	0-2%	B

ZONING LEGEND

- RA RESIDENTIAL AGE-RESTRICTED DISTRICT
- C COMMERCIAL DISTRICT
- PR3 PLANNED RESIDENCE 3 (WASHINGTON TWP)
- NC NEIGHBORHOOD COMMERCIAL (WASHINGTON TOWNSHIP)

LEGEND

- PROPERTY OUTLINE
- EXISTING CENTERLINE
- EXISTING LOT LINE
- EXISTING TIE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING GRADE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 1' INTERNAL CONTOUR LINE
- EXISTING 5' INTERNAL CONTOUR LINE
- EXISTING SOIL LINE
- EXISTING SOIL TYPE
- TEST PIT LOCATION
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE W/LIGHT
- EXISTING UTILITY POLE W/LIGHT & SOLAR PANEL
- EXISTING UTILITY POLE W/SOLAR PANEL
- EXISTING UTILITY GUY POLE
- EXISTING LIGHT
- EXISTING STORM SEWER AND INLET
- EXISTING SANITARY SEWER MH & PIPE
- EXISTING FORCE MAIN
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING WATER METER PIT
- EXISTING MONITORING WELL
- EXISTING OVERHEAD ELECTRIC
- EXISTING TELEPHONE
- EXISTING TELEPHONE BOX
- EXISTING TELEPHONE MANHOLE
- EXISTING GAS MAIN
- EXISTING GAS VALVE
- EXISTING ELECTRIC
- EXISTING ELECTRIC MANHOLE
- EXISTING CABLE TV
- EXISTING FIBER OPTIC CABLE
- EXISTING MANHOLE
- EXISTING SIGN
- EXISTING STREET SIGN
- ZONING LIMIT LINE
- ZONING DESIGNATION
- EXISTING DRAINAGE DIVIDE LINE
- EXISTING DRAINAGE SHED DESIGNATION
- EXISTING DRAINAGE TIME OF CONCENTRATION
- EXISTING TREE TO BE REMOVED
- TO BE DEMOLISHED OR REMOVED
- SHEET MATCH LINE

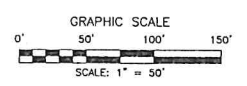


hrl
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, NJ LIC. NO. 24GS04335700
 DATE: 04/16/20
 Paul A. Witthohn
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300
 DATE: 04/16/20

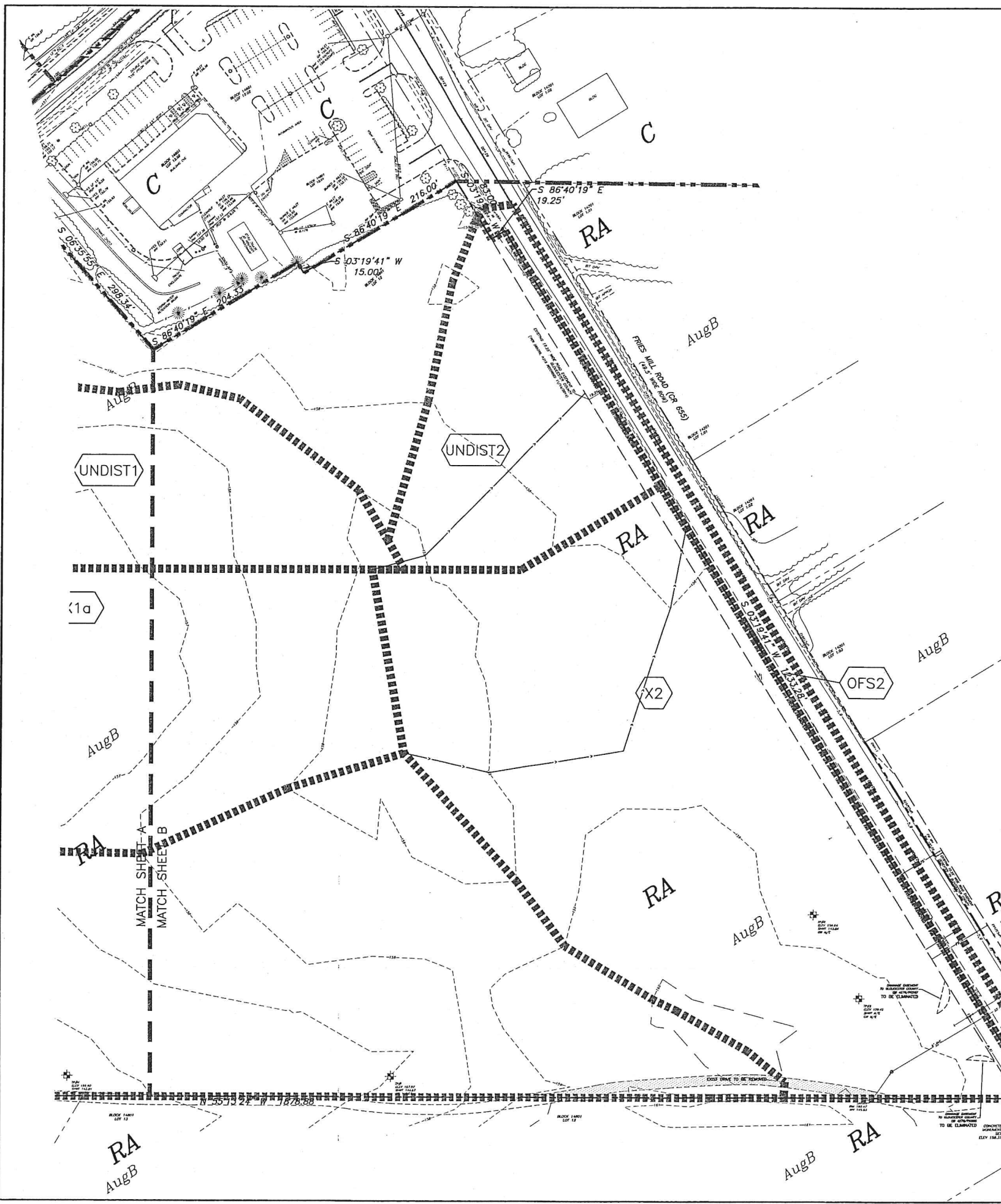
EXISTING CONDITION/DEMOLITION PLAN - SHEET A

THE GREENS
 PLATE 146, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY SERVICES
 CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
 649 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1100 FAX (609) 426-1101
 NJ CERTIFICATE OF AUTHORIZATION No. 2402787700



Project: 2019-04-17-14801-12-11.dwg, 10/1/2019



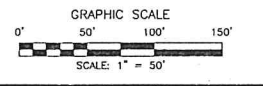
- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW," OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARK THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
 2. ALL ELECTRICAL FACILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE STATE OR LOCAL REGULATIONS. ALL WORK AT UTILITY POLES SHALL BE COORDINATED WITH PROPER ELECTRIC COMPANY.
 3. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND OBJECTS THAT ARE TO REMAIN SO AS TO AVOID DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY CONTRACTOR OPERATIONS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 4. APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COUNTY SOIL CONSERVATION DISTRICT.
 5. NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
 6. ANY TRENCH REPLACEMENT AND RESTORATION DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARDS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING AND CONCRETE, AS WELL AS TOPSOIL, TOPSOIL, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN STATE ROADS SHALL MEET THE REQUIREMENTS OF THE STATE ENGINEER.
 8. THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.
 9. THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 10. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
 11. ALL DEBRIS, RUBBISH, INCLUDING HAZARDOUS WASTE, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DEPOSITED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 12. IN LOCATIONS WHERE CONCRETE AND PAVEMENT, TO BE REMOVED, ADJUT SURFACES OF LIKE MATERIALS, THE CONCRETE AND PAVEMENT SHALL BE SAW CUT ALONG THE LIMITS OF REMOVAL TO LEAVE A CLEAN, EVEN EDGE REMAINING WHERE SUCH MATERIALS ARE TO REMAIN IN PLACE. EXISTING BUILDINGS AND FOUNDATIONS ARE TO BE REMOVED. THE EXPOSED SUBGRADE SHALL BE PROOF ROLLED AND COVERED WITH A 15 TON SELF-PROPELLED VIBRATORY COMPACTOR. THE DENSITY OF 95% OF MOIST PROCTOR SHALL BE ACHIEVED PRIOR TO ANY PROPOSED CONSTRUCTION.
 13. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 9:23-2.1 (a) OF THE N.J. UNIFORM CONSTRUCTION CODE AND OR 1923.32 (f) (OSHA COMPETENT PERSON).
 14. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE THE NOTICES NECESSARY FOR AND INCIDENTAL TO THE ONE AND LAMPA. EXECUTION OF THE PROJECT.
 15. THE INSPECTION OF, OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
 16. IF ENCOUNTERED DEMOLITION PERMIT AND WELL/SEPTIC SYSTEM CLOSURE PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 17. THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE PROCEEDING TO COMMENCE THE WORK OR DIVULGING OF MATERIALS. EXISTING UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY EXCAVATION OPERATIONS UNLESS HE HAS DETERMINED THE EXACT LOCATION OF THE EXISTING UTILITY FACILITIES WITHIN THE PROJECT FROM SURFACE SITE INVESTIGATIONS, INCLUDING TEST PITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, E. THE E. EXAMINER, ETC. IMMEDIATELY UPON COMPLETING THE WORK.
 19. THE CONTRACTOR SHALL PROTECT, SUPPORT, AND SECURE ALL IN-PLACE UTILITY FACILITIES SO AS TO AVOID DAMAGE TO THEM AND ANY INTERRUPTION OF SERVICE. THE CONTRACTOR SHALL NOT TEMPORARILY MOVE EXISTING OR COMPLETED UTILITY FACILITIES WITHOUT THE UTILITY OWNER'S CONSENT AND THE FACILITIES SHALL BE AS SAFE AND PERMANENT AT COMPLETION AS THEY WERE BEFORE THE CONTRACTOR'S INVOLVEMENT. IN THE EVENT THE CONTRACTOR DAMAGES A UTILITY FACILITY, INCLUDING PROPERTY SERVICE CONNECTIONS, THE CONTRACTOR SHALL NOTIFY THE UTILITY IMMEDIATELY. THE UTILITY MAY COMPLETE THE REPAIRS OR ALLOW THE CONTRACTOR TO COMPLETE THE REPAIRS, WITH THE CONTRACTOR RESPONSIBLE FOR ANY APPLICABLE TIME AND EXPENSE.
 20. INDICATIONS SHALL BE SHOWN, BRACKETED AND SPECIFIED AS CONDITIONS WARRANT IF CLOSE TO EXISTING PAVEMENT, SIDEWALKS, CURBS, RAILROADS, OR STRUCTURES OF ANY KIND, THE EXCAVATION SHALL BE SECURED BY SAFETY FENCING OR OTHER MEANS, SO THAT SUCH FACILITIES AND STRUCTURES ARE PROTECTED. NO ADDITIONAL PAYMENT WILL BE MADE FOR SIGNING, BRACING, OR SHIELDING.

SOILS LEGEND

DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AUC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AUA	AURA-URBAN LAWS COMPLEX	0-5%	B
WA-A	WOODSTOWN-CLASSBORO COMPLEX	0-2%	B

- ZONING LEGEND**
- RA RESIDENTIAL AGE-RESTRICTED DISTRICT
 - C COMMERCIAL DISTRICT
 - PR3 PLANNED RESIDENCE 3 (WASHINGTON TWP)
 - NC NEIGHBORHOOD COMMERCIAL (WASHINGTON TOWNSHIP)

- LEGEND**
- PROPERTY OUTBOUND
 - EXISTING CONTOUR
 - EXISTING LOT LINE
 - EXISTING TREELINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING GROUND
 - EXISTING BLOCK NUMBER
 - EXISTING LOT NUMBER
 - EXISTING 1' INTERNAL CONTOUR LINE
 - EXISTING 5' INTERNAL CONTOUR LINE
 - EXISTING SOIL LINE
 - EXISTING SOIL TYPE
 - TEST PIT LOCATION
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE W/LIGHT
 - EXISTING UTILITY POLE W/SOLAR PANEL
 - EXISTING UTILITY POLE W/SOLAR PANEL
 - EXISTING UTILITY CURF POLE
 - EXISTING LIGHT
 - EXISTING STORM SEWER AND INLET
 - EXISTING SANITARY SEWER MAN & PIPE
 - EXISTING FORCE MAIN
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING WATER METER PIT
 - EXISTING MONITORING WELL
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING TELEPHONE BOX
 - EXISTING TELEPHONE MANHOLE
 - EXISTING GAS MAIN
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC
 - EXISTING ELECTRIC MANHOLE
 - EXISTING CABLE TV
 - EXISTING FIBER OPTIC CABLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING STREET SIGN
 - ZONING LIMIT LINE
 - ZONING DESIGNATION
 - EXISTING DRAINAGE DIVIDE LINE
 - EXISTING DRAINAGE SHEET DESIGNATION
 - EXISTING DRAINAGE TIME OF CONCENTRATION
 - EXISTING TREE TO BE REMOVED
 - TO BE DEMOLISHED OR REMOVED
 - SHEET MATCH LINE



DATE: 01/26/20
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 24G504335700

DATE: 01/26/20
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24G604749300

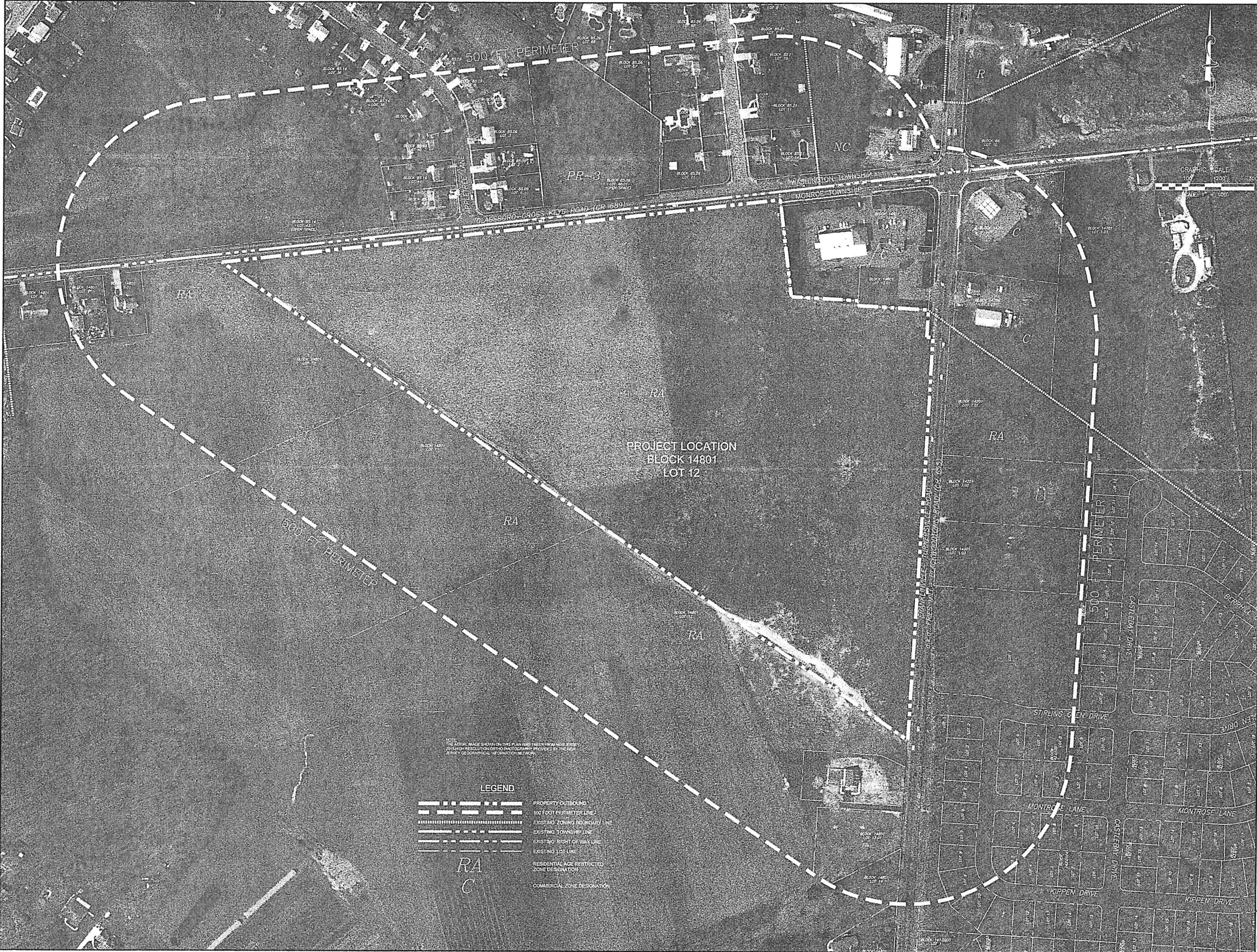
EXISTING CONDITION/DEMOLITION PLAN - SHEET B

THE GREENS
 PLATE 148, BLOCK 1801, LOT 12
 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BELMONT-CROSS KEYS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY 08081
 PHONE: (609) 426-1111 FAX: (609) 426-1112
 IN CERTIFICATE OF AUTHORIZATION NO. 24A00797750



P:\proj\2146\dwg\2146_dwg_01.dwg, L201078



LEGEND

- PROPERTY OUTBOUND
- 500 FOOT PERIMETER LINE
- EXISTING ZONING BOUNDARY LINE
- EXISTING TOWNSHIP LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- RESIDENTIAL AGE RESTRICTED ZONE DESIGNATION
- COMMERCIAL ZONE DESIGNATION

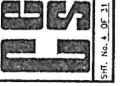
NOTE:
THE AERIAL IMAGE SHOWN ON THIS PLAN WAS TAKEN FROM NEW JERSEY
2016 HIGH RESOLUTION AERIAL PHOTOGRAPHS PROVIDED BY THE NEW
JERSEY GEOGRAPHICAL INFORMATION NETWORK.

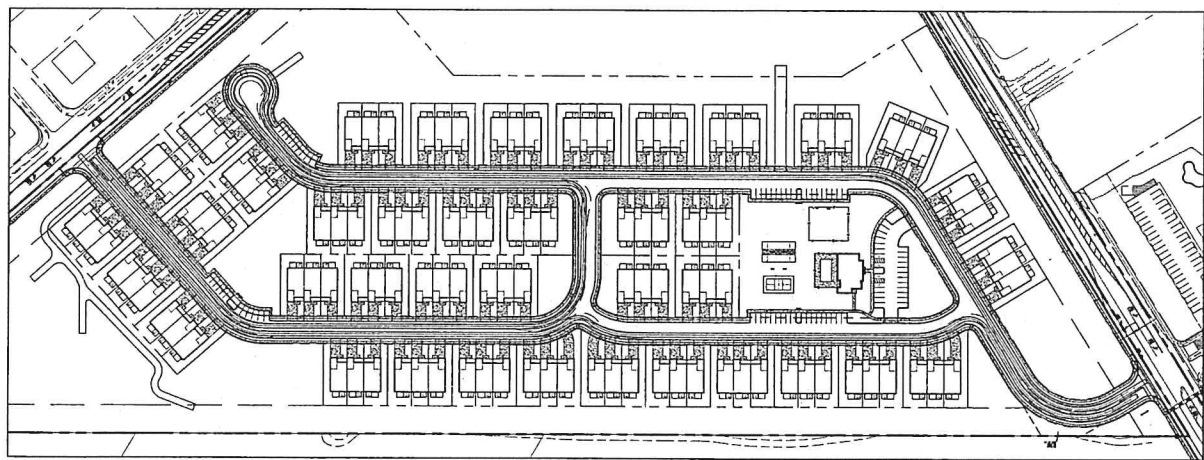
PREPARED BY
CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BEECHWOOD DRIVE, SUITE 200
 PHILADELPHIA, PA 19106
 PHONE (215) 261-2200 FAX (215) 232-2344
 www.ces-engineers.com

SURROUNDING SITE FEATURES
THE GREENS
 PLATE 148, BLOCK 11480, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

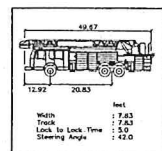
Paul A. Witthohn
PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24604749300

DATE	REVISIONS
04/20/20	





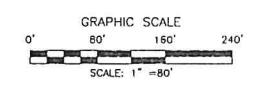
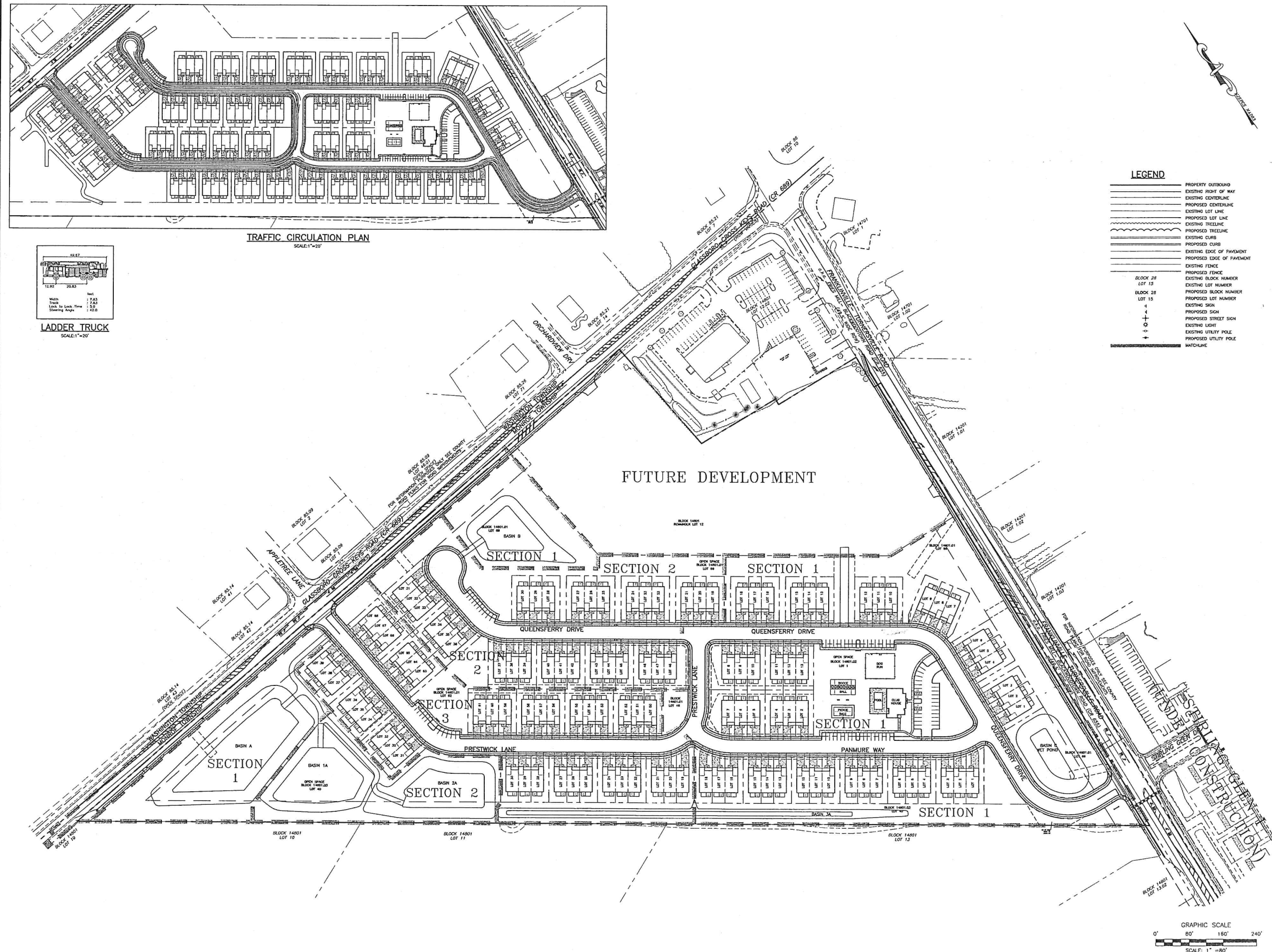
TRAFFIC CIRCULATION PLAN
SCALE: 1"=20'



LADDER TRUCK
SCALE: 1"=20'

LEGEND

[Symbol]	PROPERTY OUTBOUND
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	EXISTING CENTERLINE
[Symbol]	PROPOSED CENTERLINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING BLOCK NUMBER
[Symbol]	EXISTING LOT NUMBER
[Symbol]	PROPOSED BLOCK NUMBER
[Symbol]	PROPOSED LOT NUMBER
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED SIGN
[Symbol]	EXISTING STREET SIGN
[Symbol]	PROPOSED STREET SIGN
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING UTILITY POLE
[Symbol]	PROPOSED UTILITY POLE
[Symbol]	MATCHLINE



DATE: 06/15/20
PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

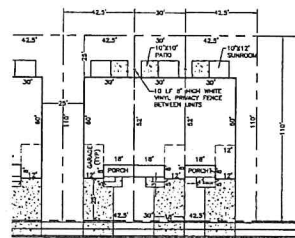
DATE	DESCRIPTION	BY	CHKD
07/17/20	REVISED SECTIONING		

OVERALL DEVELOPMENT SECTIONING/
TRAFFIC CIRCULATION PLAN
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY SERVICES
CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
648 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-1100 FAX (609) 426-1101
NJ CERTIFICATE OF REGISTRATION NO. 24-037877-200

DATE: 06/15/20 SCALE: 1"=80' FILE NO.: 2248-02 FILE NO.: 2248-02 DRAWN BY: JAL

P:\projects\2248-02\2248-02.dwg, 07/17/20, 11:13 AM, jwalsh@psnj.com



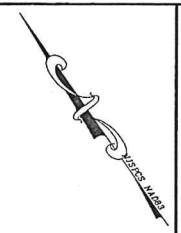
TYPICAL BUILDING LOT LAYOUT
SCALE 1"=40'

GENERAL NOTES

1. ALL ROADWAYS WITHIN THE PROPOSED SITE WILL BE DEDICATED TO MONROE TOWNSHIP.
2. ALL DISTURBED AREAS NOT COVERED BY PAVEMENT, SIDEWALK, OR BUILDINGS ARE TO BE COVERED WITH SIX INCHES OF COMPACTED TOPSOIL, HYDRO-SEED AND MULCH.
3. THE 28-DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4,500 PSI. MINIMUM FOR ALL CONCRETE SIDEWALKS AND DRIVEWAY APRONS.
4. THE THICKNESS OF CONCRETE SIDEWALK SHALL BE INCREASED FROM FOUR INCHES TO SIX INCHES WHERE ADJACENT TO DRIVEWAY APRONS.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NJDOT SPECIFICATIONS.
6. ALL BUILDING REMAINS, TRASH AND/OR DEBRIS FOUND ON SITE DURING CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
7. SIGHT TRIANGLE EASEMENTS SHALL BE GRANTED TO GLOUCESTER COUNTY FOR THE PURPOSES PROVIDED FOR AND EXPRESSED IN THE LOCAL ORDINANCE.
8. UTILITY EASEMENTS SHALL BE DEDICATED TO THE MONROE TOWNSHIP MAIA.
9. ALL TRAFFIC CONTROL SIGNS ARE TO BE AS PER THE LATEST EDITION OF THE SMUT DESIGN STANDARDS.
10. A BLANKET EASEMENT WILL BE PROVIDED FOR ACCESS TO THE ENTIRE OPEN SPACE TO THE TOWNSHIP OF MONROE.
11. DETENTION/RETENTION BASINS AND STORMWATER PIPING OUTSIDE OF DEDICATED ROADWAY RIGHT OF WAY WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
12. IRRIGATION SYSTEMS WILL BE PROVIDED FOR ALL RESIDENTIAL LOTS. THE IRRIGATION SYSTEM FOR THE RESIDENTIAL WILL BE CONTROLLED BY THE HOMEOWNER'S ASSOCIATION AND WILL BE ARRANGED IN ZONES THROUGHOUT THE PROJECT.
13. ALL STORMWATER SYSTEMS WITHIN THE OPEN SPACE LOTS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

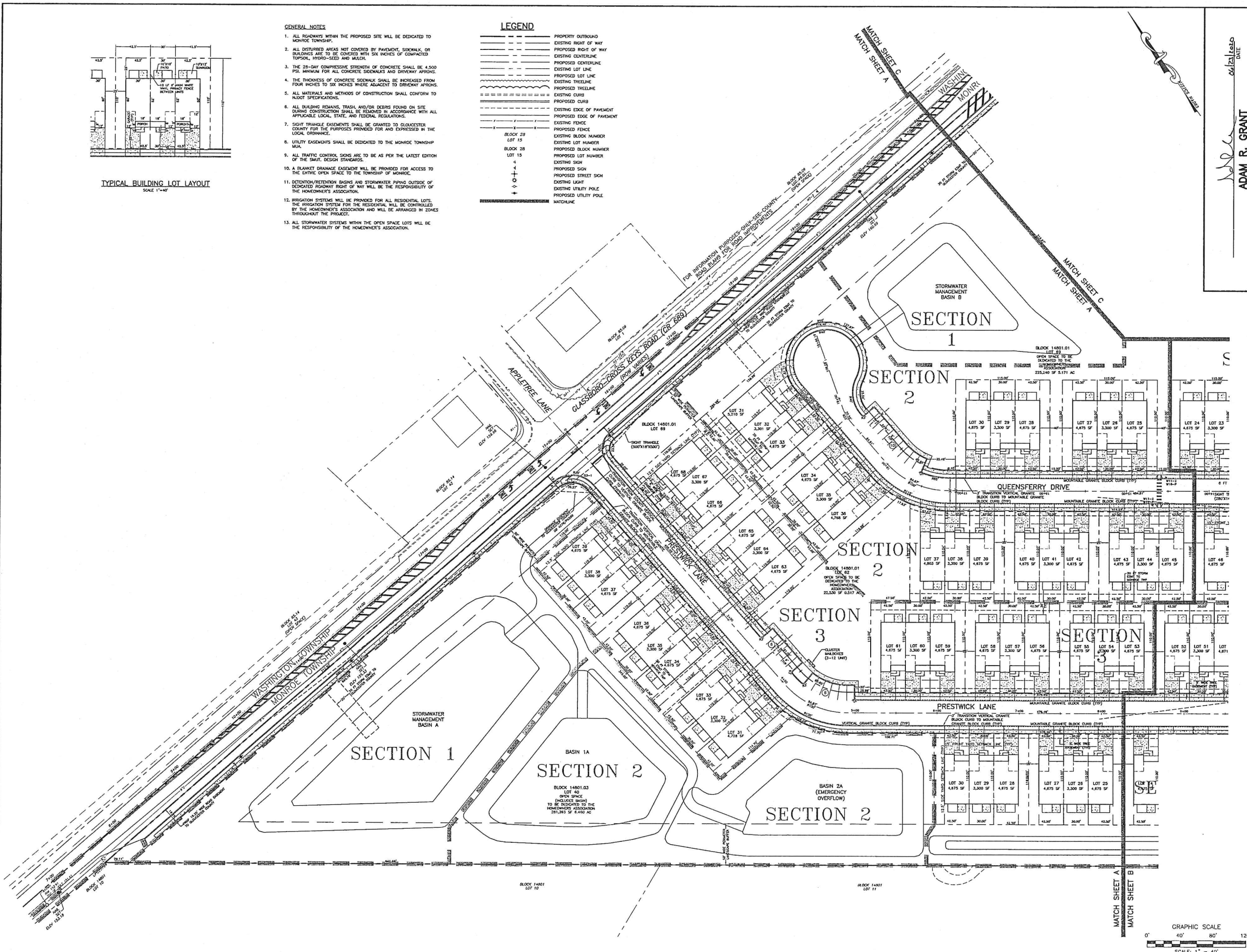
LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING STREET SIGN
- PROPOSED STREET SIGN
- EXISTING LIGHT
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- MATCHLINE



DATE: 06/23/2025
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 24CS04335700
 DATE: 04/15/20
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

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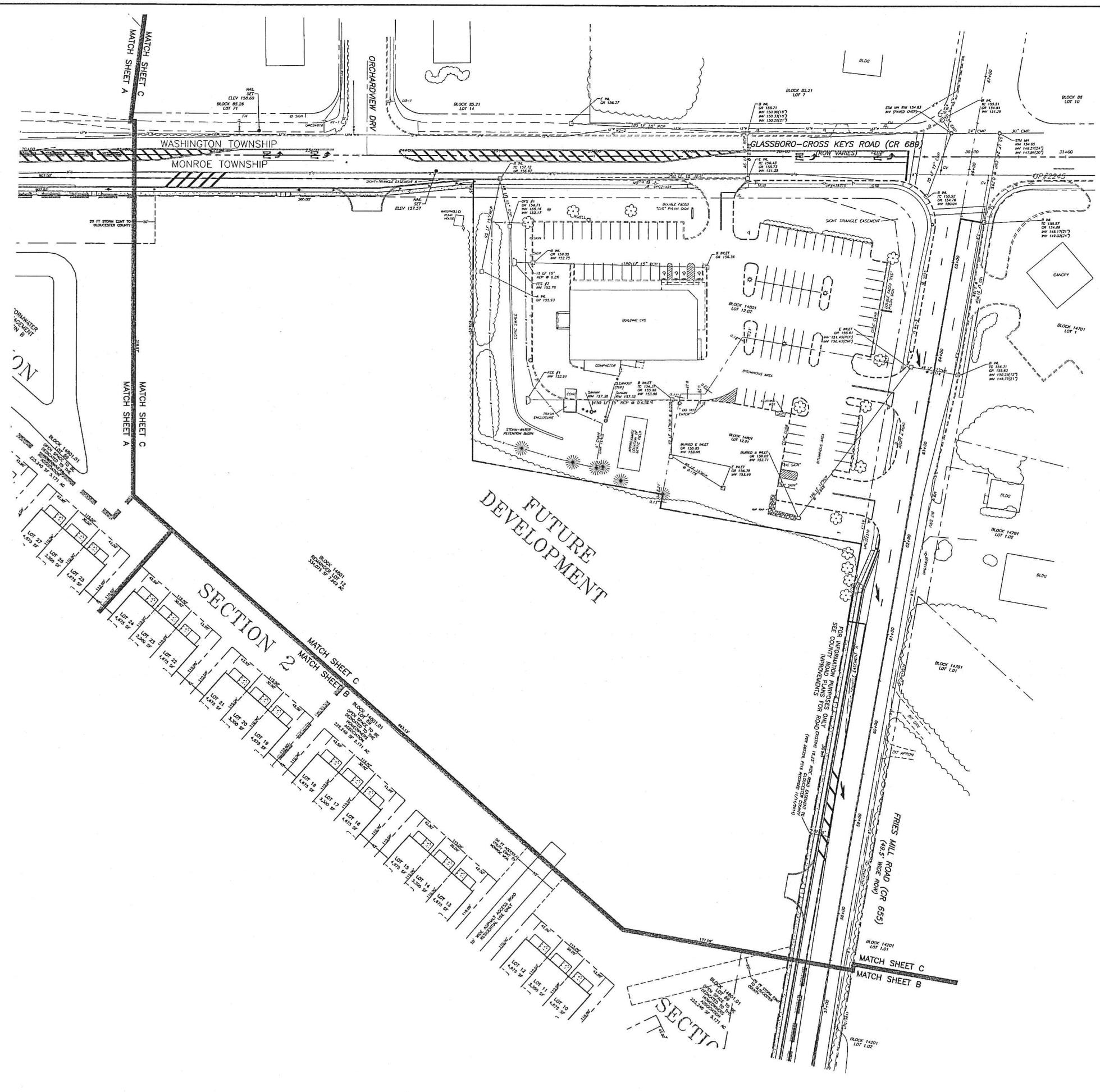


DATE	BY	REVISIONS

SUBMISSION PLAN - SHEET A
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEER SERVICES
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SHICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-3344 FAX (609) 426-3345
 WWW.CES-PA.COM
 DATE: 06/23/2025
 FILE NO.: 24-001
 SHEET NO.: 11
 SCALE: 1"=40'





DATE 06.13.2020
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 246S04335700
 PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GED4749300

NO.	DATE	REVISIONS

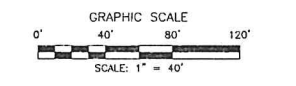
SUBDIVISION PLAN - SHEET C
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

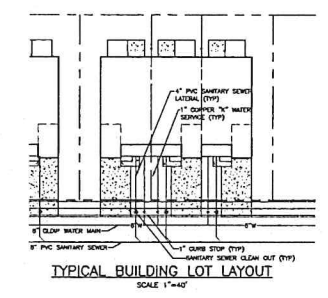
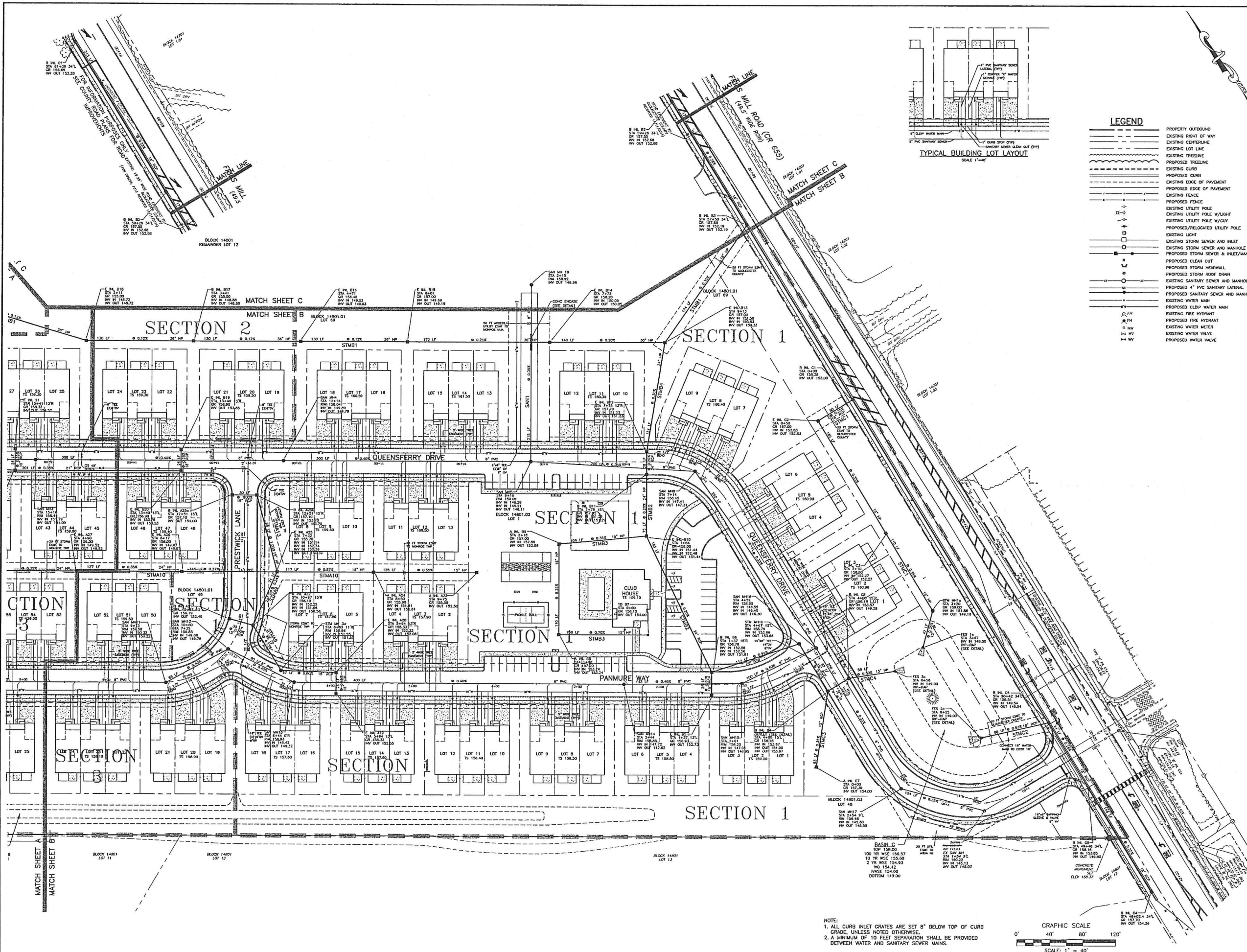
PREPARED BY
CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEER IN CHARGE
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
 PHONE (609) 235-2200 FAX (609) 235-2348 EMAIL: info@cesnj.com
 IN COMPLIANCE WITH THE PROVISIONS OF N.J.A.C. 17:27



LEGEND

---	PROPERTY OUTBOUND
---	EXISTING RIGHT OF WAY
---	PROPOSED RIGHT OF WAY
---	EXISTING CENTERLINE
---	PROPOSED CENTERLINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING BLOCK NUMBER
---	EXISTING LOT NUMBER
---	PROPOSED BLOCK NUMBER
---	PROPOSED LOT NUMBER
+	EXISTING SIGN
+	PROPOSED SIGN
+	PROPOSED STREET SIGN
+	EXISTING LIGHT
+	EXISTING UTILITY POLE
+	PROPOSED UTILITY POLE
---	MATCHLINE





LEGEND

[Symbol]	PROPERTY OUTBOUND
[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	EXISTING CENTERLINE
[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING TIE LINE
[Symbol]	PROPOSED TIE LINE
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING UTILITY POLE W/ LIGHT
[Symbol]	EXISTING UTILITY POLE W/ GUY
[Symbol]	PROPOSED/RELOCATED UTILITY POLE
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING STORM SEWER AND INLET
[Symbol]	EXISTING STORM SEWER AND MANHOLE
[Symbol]	PROPOSED STORM SEWER & INLET/MANHOLE
[Symbol]	PROPOSED CLEAN OUT
[Symbol]	PROPOSED STORM HEADWALL
[Symbol]	PROPOSED STORM ROOF DRAIN
[Symbol]	EXISTING SANITARY SEWER AND MANHOLE
[Symbol]	PROPOSED 4" PVC SANITARY LATERAL
[Symbol]	PROPOSED SANITARY SEWER AND MANHOLE
[Symbol]	EXISTING WATER MAIN
[Symbol]	PROPOSED COLD WATER MAIN
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED WATER VALVE

DATE: 06/13/20
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

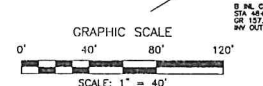
DATE	BY	REVISION

UTILITY PLAN - SHEET B
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEER SERVICES
 645 BERLIN-CROSS KEYS ROAD, SUITE 200, ROCKAWAY, NEW JERSEY 08081
 PHONE (609) 229-2200 - FAX (609) 229-2244 - EMAIL: cses@csesnj.com
 A MEMBER OF THE CORPORATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF NEW JERSEY

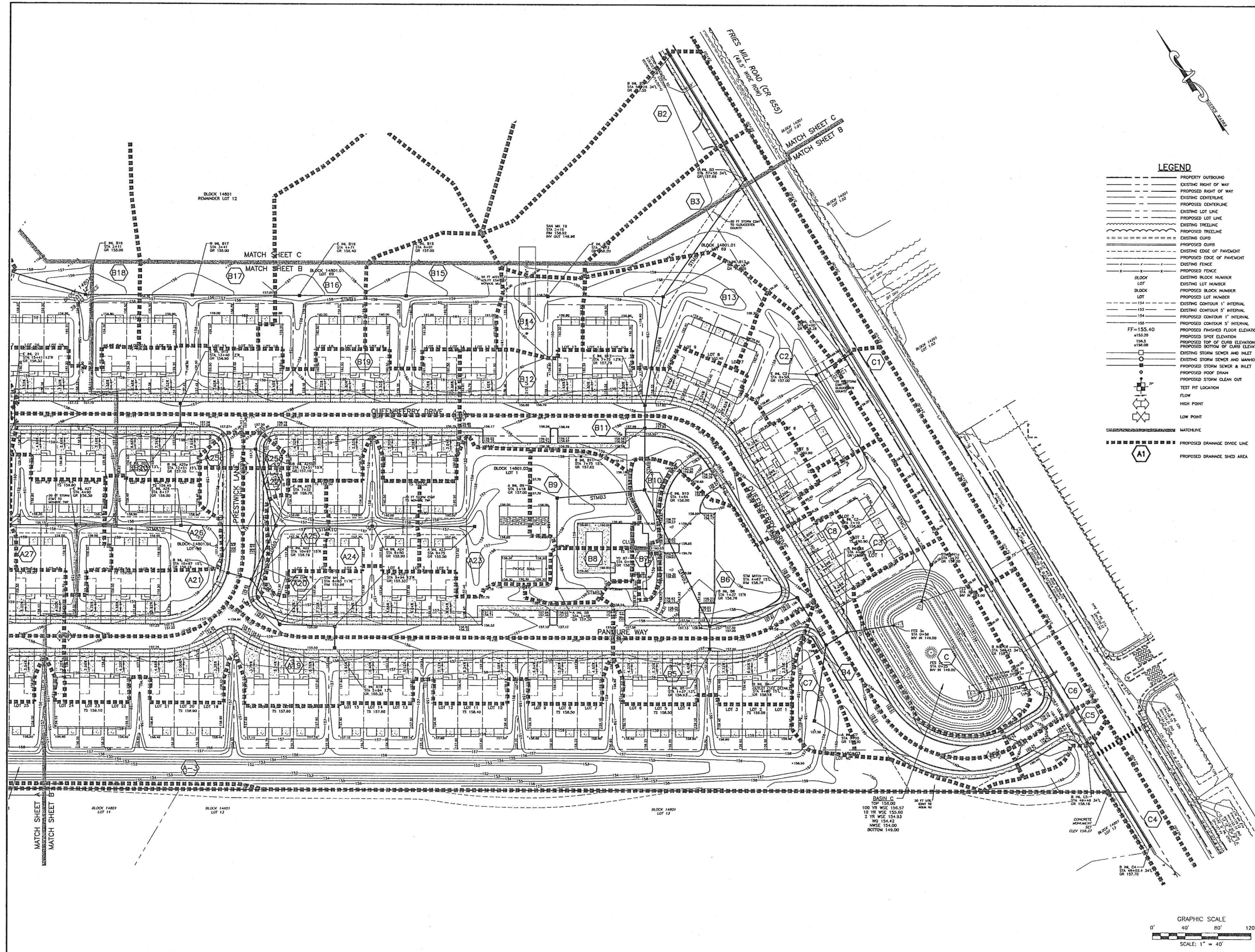


NOTE:
 1. ALL CURB INLET GRATES ARE SET 8" BELOW TOP OF CURB GRADE, UNLESS NOTED OTHERWISE.
 2. A MINIMUM OF 10 FEET SEPARATION SHALL BE PROVIDED BETWEEN WATER AND SANITARY SEWER MAINS.



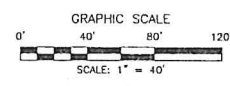
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Project: 2014-02-21 DATE: 06/12/12 SCALE: 1"=40'



LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING TIE LINE
- PROPOSED TIE LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- EXISTING CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- EXISTING CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- FF=155.40
- PROPOSED FINISHED FLOOR ELEVATION
- 1154.20
- PROPOSED SPOT ELEVATION
- 154.3
- PROPOSED TOP OF CURB ELEVATION
- 1154.00
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING STORM SEWER AND INLET
- PROPOSED STORM SEWER AND INLET
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER AND MANHOLE
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING STORM CLEAN OUT
- PROPOSED STORM CLEAN OUT
- TEST PIT LOCATION
- FLOW
- HIGH POINT
- LOW POINT
- MATCHLINE
- PROPOSED DRAINAGE DIVIDE LINE
- PROPOSED DRAINAGE SHED AREA



DRAINAGE DIVIDE PLAN - SHEET B

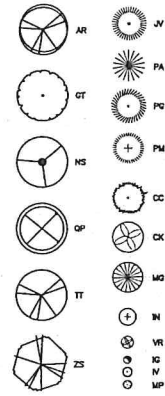
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: SERVICES
 CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08061
 PHONE (609) 426-1100 FAX (609) 426-1101
 E-MAIL: SALES@SERVICESCONSULTING.COM
 WWW.SERVICESCONSULTING.COM

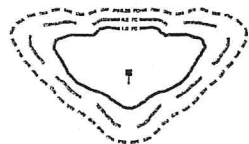
PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GEO4749300

DATE: 06/12/12
 DRAWN BY: JAM

LANDSCAPE LEGEND



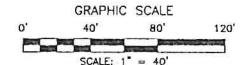
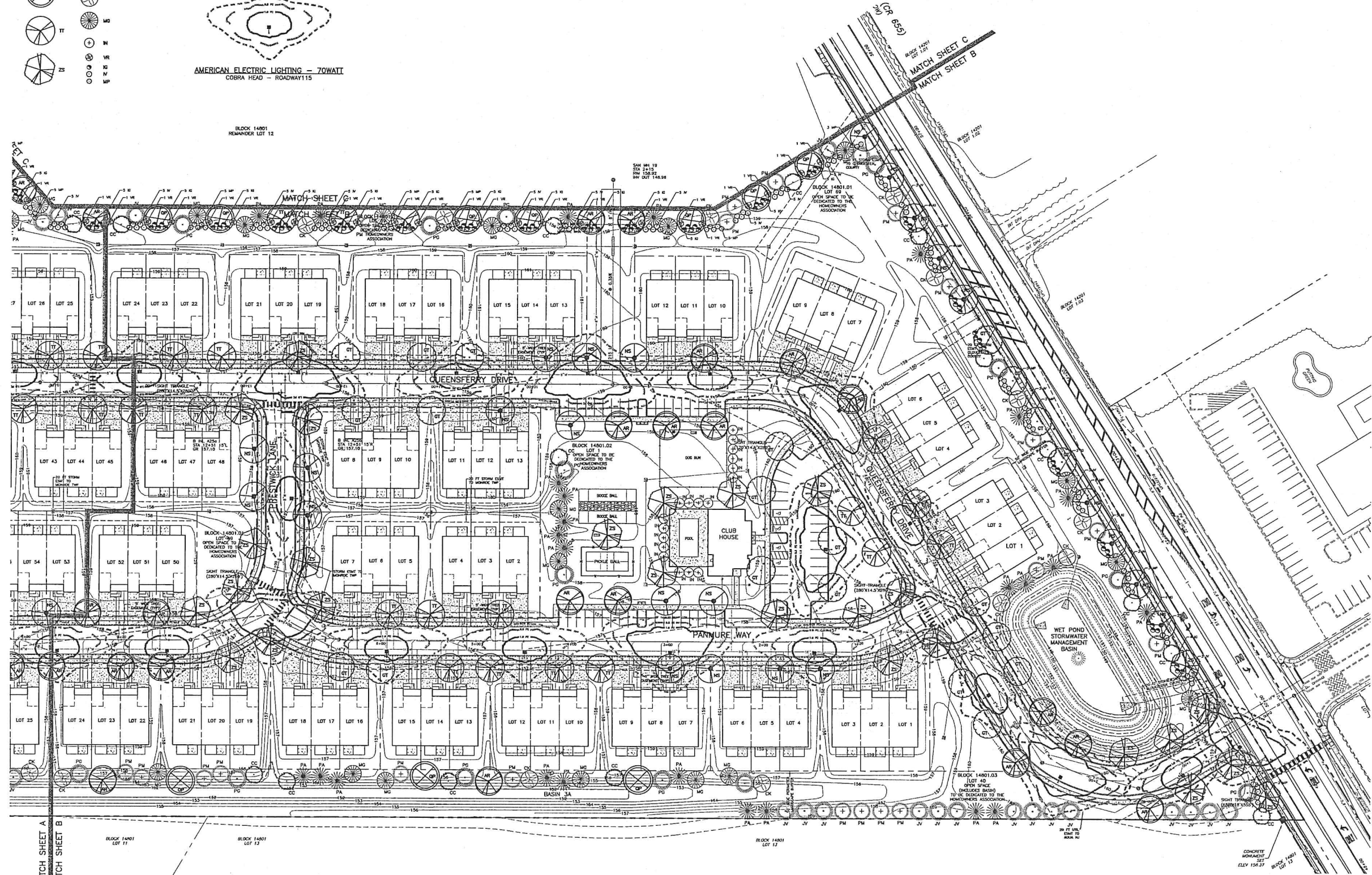
LIGHTING LEGEND



AMERICAN ELECTRIC LIGHTING - 150WATT
COBRA HEAD - ROADWAY115



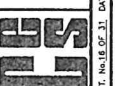
AMERICAN ELECTRIC LIGHTING - 70WATT
COBRA HEAD - ROADWAY115



LANDSCAPE & LIGHTING PLAN - SHEET B

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

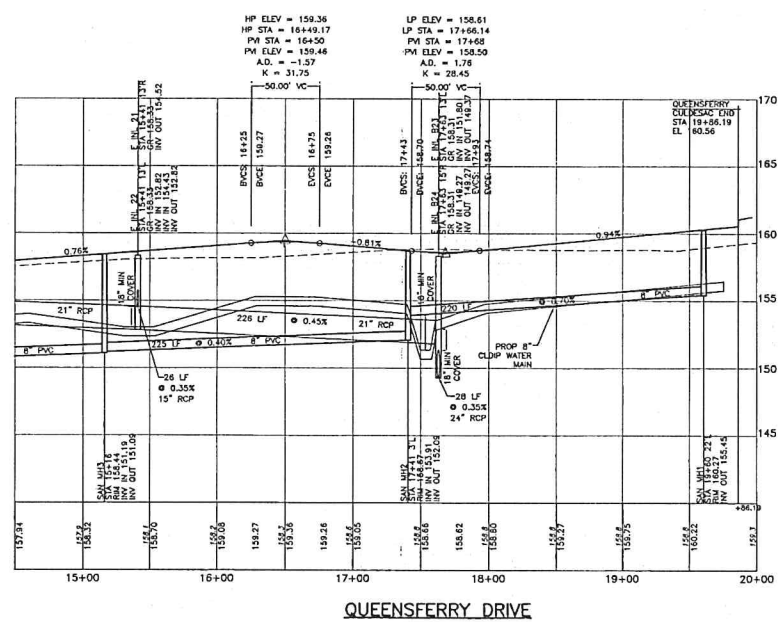
PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSOR CROSS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
PHONE (609) 338-3344 FAX (609) 338-3344
WWW.CES-PA.COM



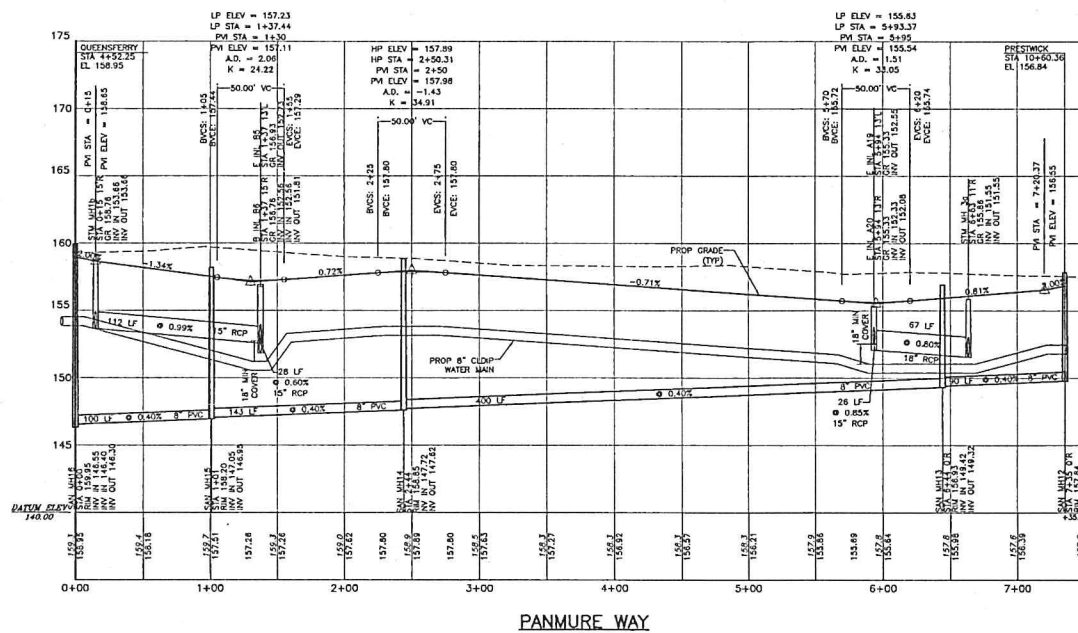
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DRAWN BY: PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GEO4749300

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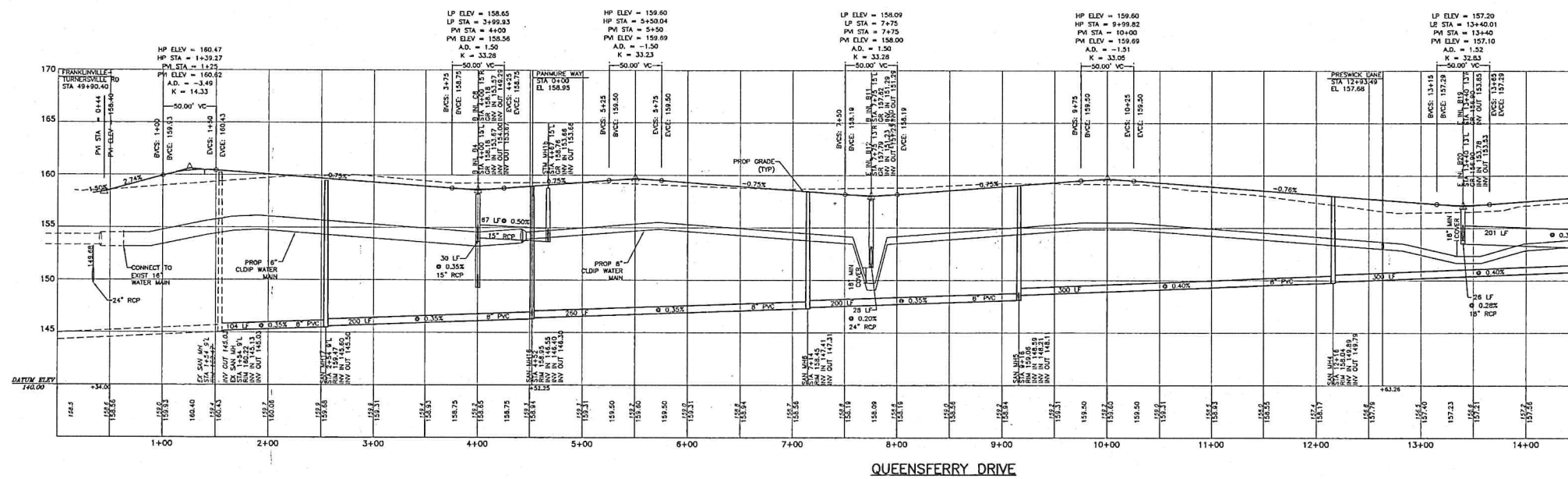
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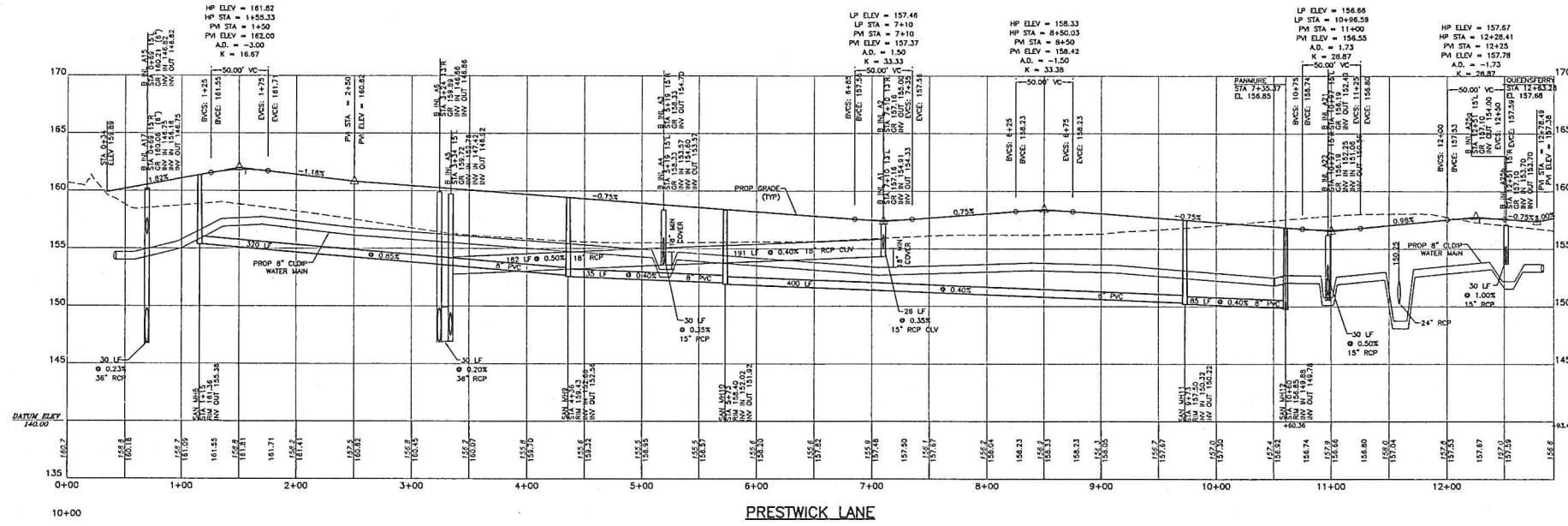
QUEENSFERRY DRIVE



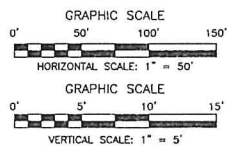
PANMURE WAY



QUEENSFERRY DRIVE



PRESTWICK LANE



PREPARED BY:
 CONSULTING SERVICES
 PROFESSIONAL ENGINEER
 845 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
 PHONE (609) 228-2300 FAX (609) 232-2448 EMAIL: cs-engineer@cs-engineer.com



ROAD PROFILES

THE GREENS
 PLATE 148, BLOCK 14801, LOT 12

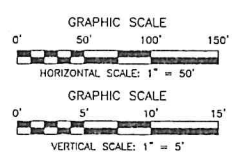
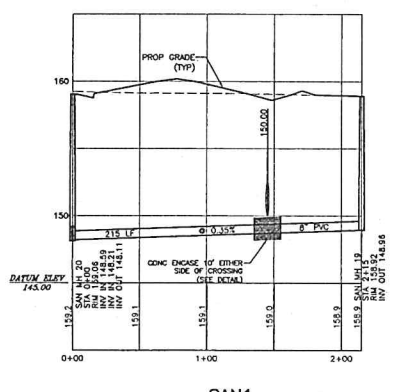
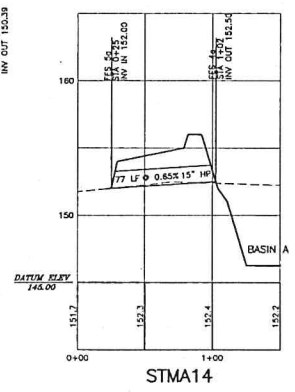
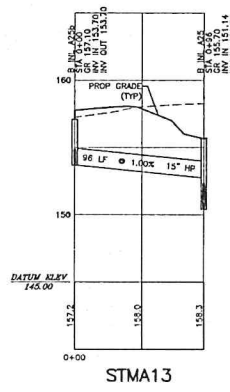
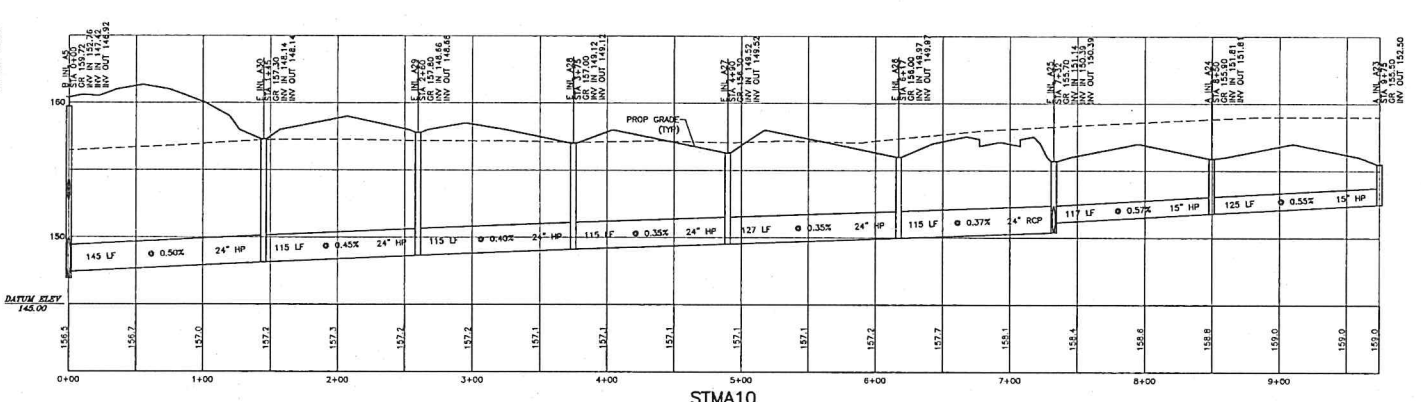
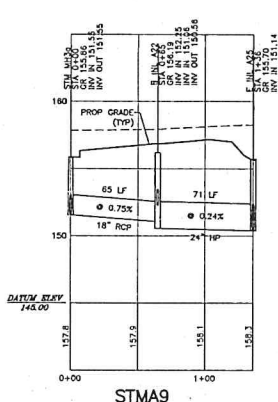
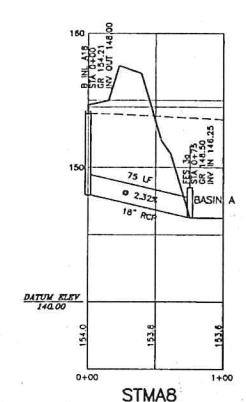
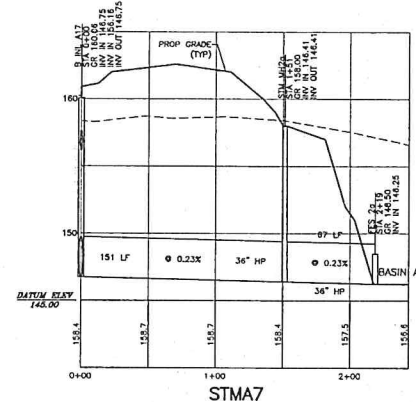
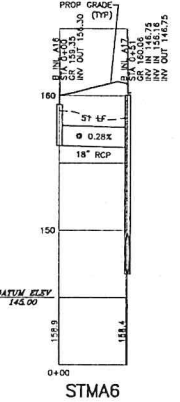
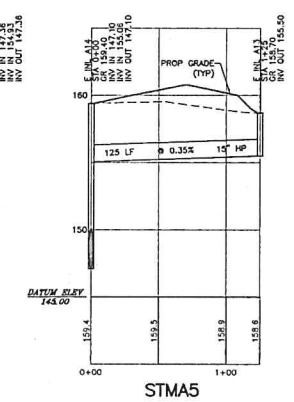
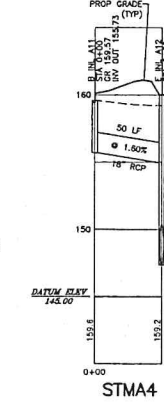
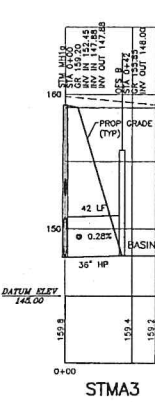
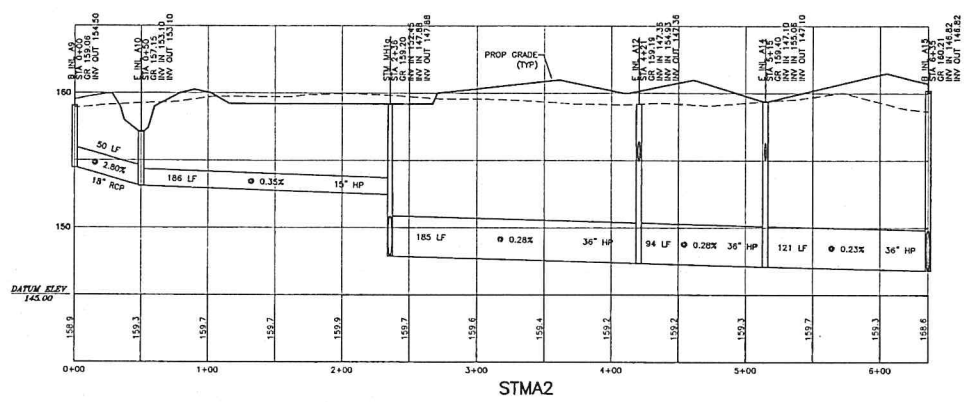
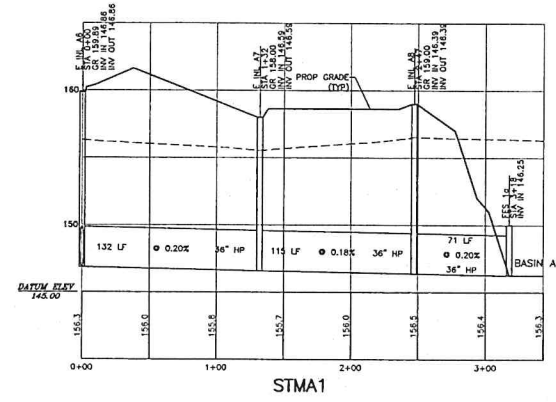
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

DATE	REVISIONS

Paul A. Witthohn
 PAUL A. WITTHOHN

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GED07493300

DATE: 07/20/15



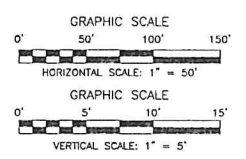
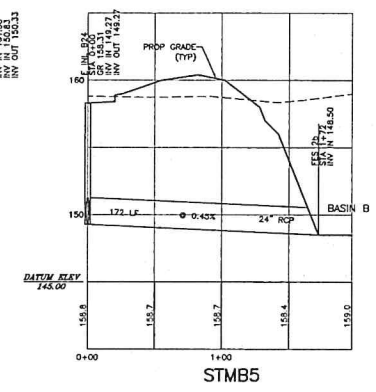
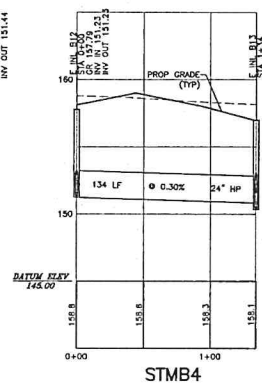
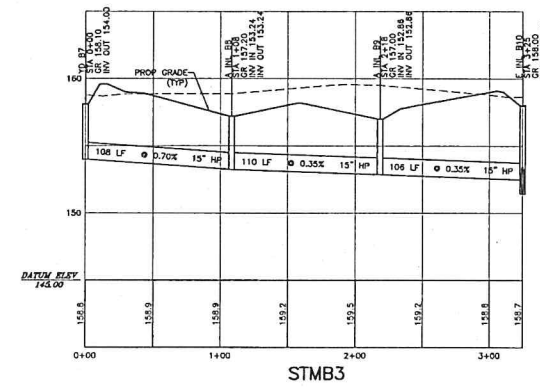
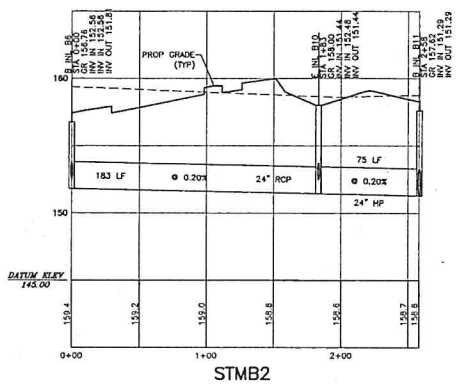
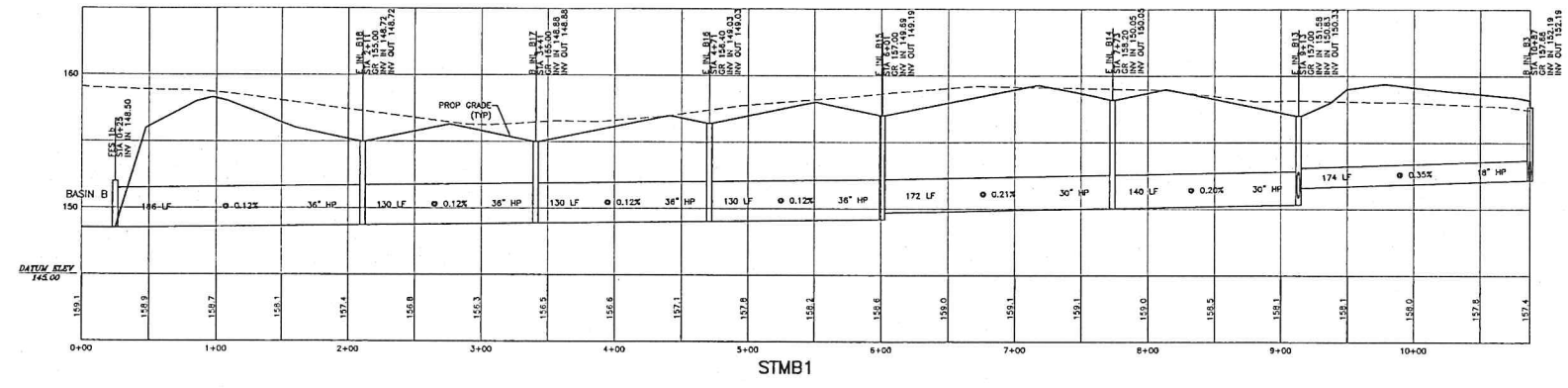
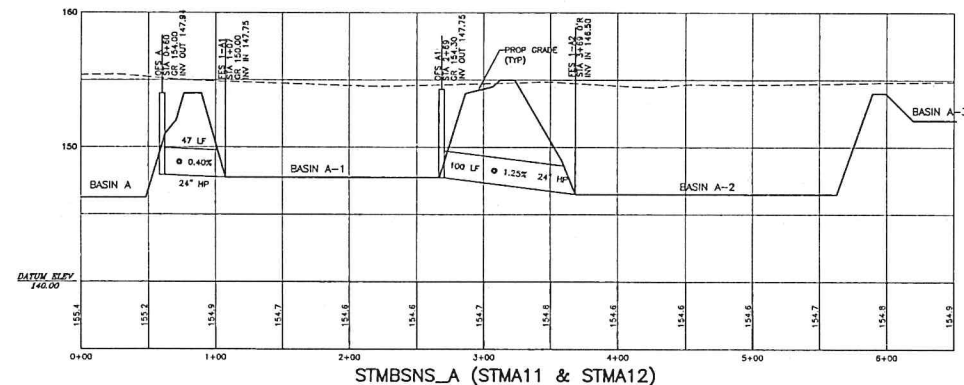
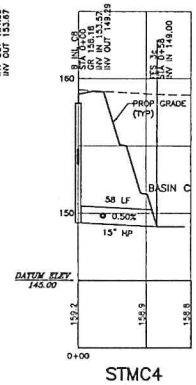
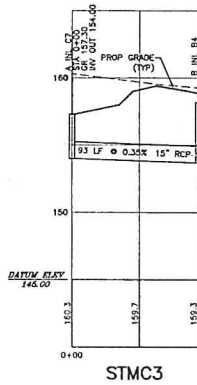
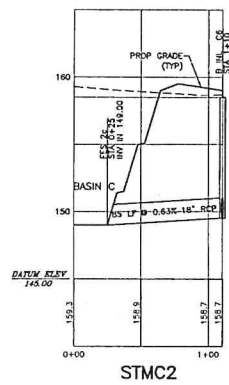
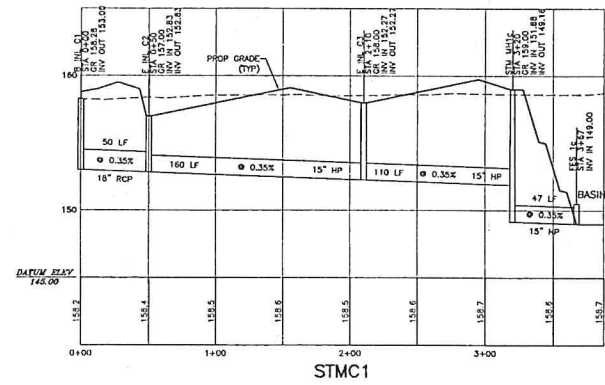
PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

DATE	REVISIONS
04/20/10	

PROFILES
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
 PHONE (609) 238-2500 - FAX (609) 235-2348 - EMAIL: eng@cesnj.com
 A MEMBER OF THE BERKLEY GROUP
 BERKLEY GROUP INC. 200 WEST 10TH STREET, PHILADELPHIA, PA 19107
 DATE: 04/20/10 SCALE: 1"=50' FILE NO.: 24GE04749300 DRAWN BY: LAM

P:\projects\2014\20140214\20140214.dwg, 04/10/14, 14:53:37, ALE, 04/10/14, 14:53:37

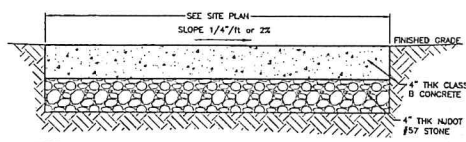


CS
 CONSULTING ENGINEER SERVICES
 645 BERLIN-CROSS RD. SUITE 101
 PHILADELPHIA, PA 19106
 PHONE (215) 261-2200 FAX (215) 231-2348
 WWW.CS-ENGINEERS.COM

PROFILES
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

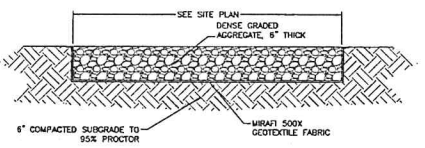
REVISION	DATE	BY	DESCRIPTION

DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 DATE: 04/10/14
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

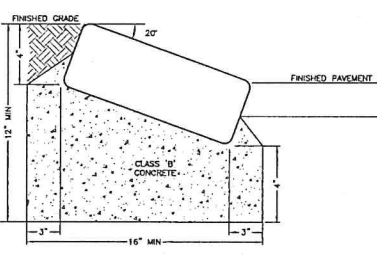


- NOTES**
- EXPANSION JOINTS SHALL BE PROVIDED WITH FILLER MATERIALS NOT MORE THAN 20 FEET APART.
 - TRANSVERSE SURFACE GROOVES SHALL BE CUT IN THE WALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO WALK WIDTH.
 - SIDEWALK SLOPE SHALL BE PITCHED TOWARD THE GUTTER LINE.
 - SIDEWALK SHALL BE 4" THICK AT DRIVEWAY CROSSINGS.
 - THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
 - IF SURFACE IS IN POOR CONDITION, 4" THICK #57 STONE SHALL BE PROVIDED, IF AND WHERE DIRECTED BY THE TOWNSHIP ENGINEER.

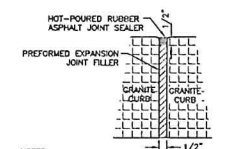
CONCRETE SIDEWALK
(W/SUBBASE)
NTS



STONE ACCESS ROAD DETAIL
NTS

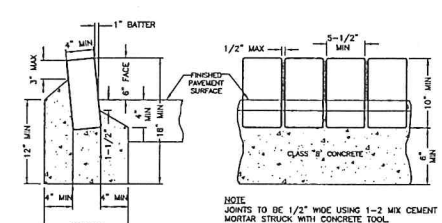


MOUNTABLE GRANITE CURB
NTS

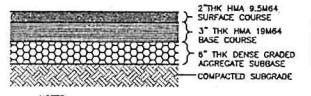


- NOTES**
- 1/2" WIDE EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB AND SHALL BE FILLED WITH PREFORMED BRUNNENBERG IMPREGATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF ASPHITO SPEC. M-213, RECESSED 1/4" FROM FACE AND TOP OF CURB.
 - EXPANSION JOINTS SHALL BE PROVIDED NOT MORE THAN 20 FEET APART.
 - TRANSVERSE SURFACE GROOVES SHALL BE CUT IN THE WALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO WALK WIDTH.
 - SIDEWALK SLOPE SHALL BE PITCHED TOWARD THE GUTTER LINE.

EXPANSION JOINT DETAIL
NTS

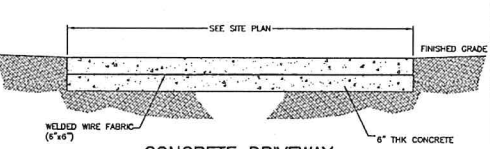


GRANITE BLOCK CURB DETAIL
NTS

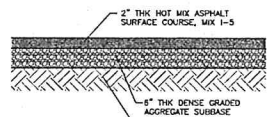


- NOTES**
- CR TESTING TO BE PERFORMED AT THE TIME OF CONSTRUCTION TO CONFIRM SUBGRADE CBR LEVEL.
 - THE MUNICIPAL ENGINEER SHALL REVIEW ALL CR DATA AND APPROVE ANY PAVEMENT DESIGN CONSISTENT WITH RESULTS OF SAID TEST.

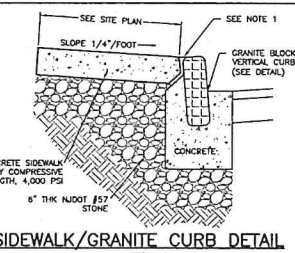
ASPHALT PAVING SECTION
NTS



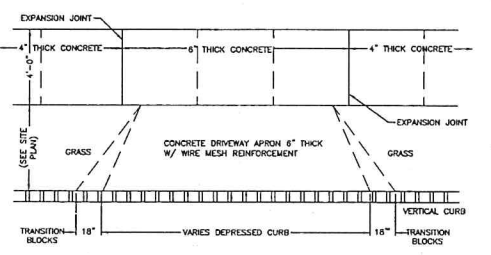
CONCRETE DRIVEWAY
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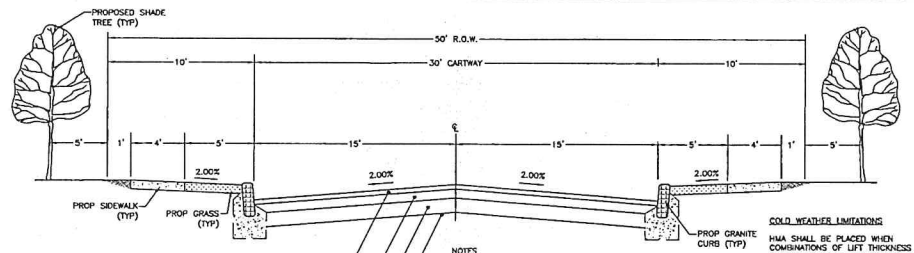
SECTION THROUGH TEMPORARY CUL-DE-SAC
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SIDEWALK/GRANITE CURB DETAIL
NTS

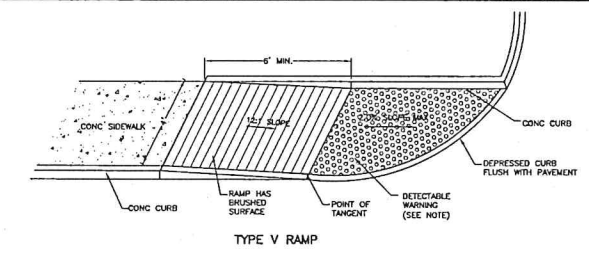


GRANITE BLOCK DRIVEWAY APRON DETAIL
NTS

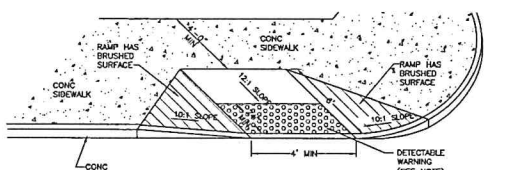


- NOTES**
- CR TESTING TO BE PERFORMED AT THE TIME OF CONSTRUCTION TO CONFIRM SUBGRADE CBR LEVEL.
 - THE MUNICIPAL ENGINEER SHALL REVIEW ALL CR DATA AND APPROVE ANY PAVEMENT DESIGN CONSISTENT WITH RESULTS OF SAID TEST.
 - PAVEMENT DESIGN BASED UPON HMA 5.21-4.19(c), FIGURE 4.3 BASED UPON POOR SUBGRADE.

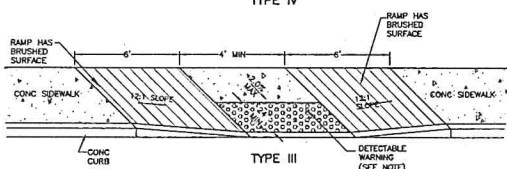
TYPICAL ROAD CROSS-SECTION INTERIOR ROADS
NTS



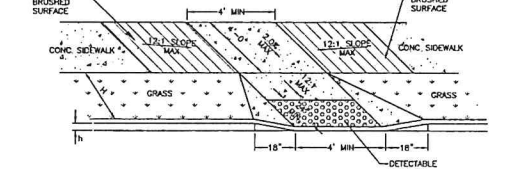
TYPE V RAMP
NTS



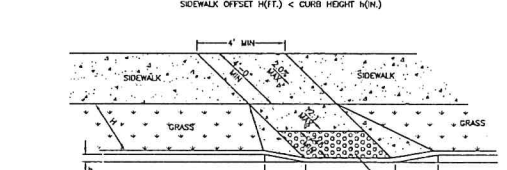
TYPE IV
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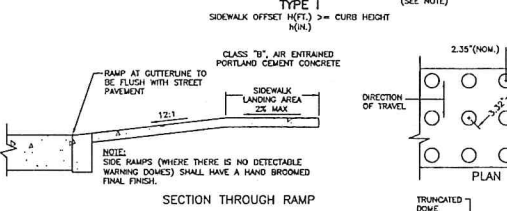
TYPE III
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TYPE II
NTS

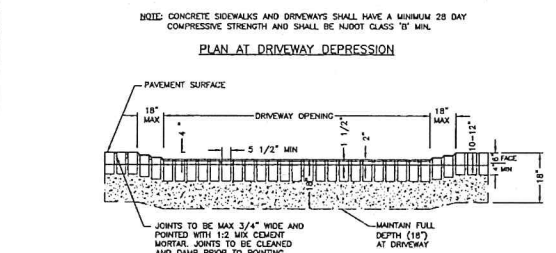


TYPE I
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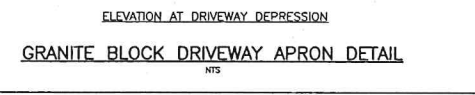


- CONSTRUCTION NOTES**
- CURB RAMPS SHALL HAVE A MINIMUM 24" WIDE STRIP OF DETECTABLE WARNING DOMES.
 - DETECTABLE WARNING DOMES SHALL BE STAMPED IN PLACE CONCRETE AS MANUFACTURED BY "CONCRETE" OR "MICRETE SYSTEM" OR APPROVED EQUAL.
 - FINISH TO BE "SAFETY RED" PAINT.

HANDICAP RAMP DETAILS
NTS

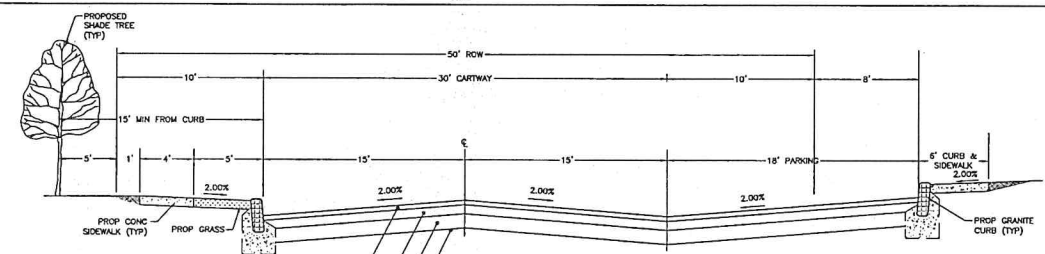


PLAN AT DRIVEWAY DEPRESSION
NTS



ELEVATION AT DRIVEWAY DEPRESSION
NTS

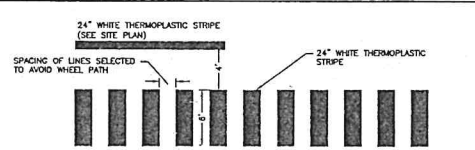
GRANITE BLOCK DRIVEWAY APRON DETAIL
NTS



- NOTES**
- CR TESTING TO BE PERFORMED AT THE TIME OF CONSTRUCTION TO CONFIRM SUBGRADE CBR LEVEL.
 - THE MUNICIPAL ENGINEER SHALL REVIEW ALL CR DATA AND APPROVE ANY PAVEMENT DESIGN CONSISTENT WITH RESULTS OF SAID TEST.
 - PAVEMENT DESIGN BASED UPON HMA 5.21-4.19(c), FIGURE 4.3 BASED UPON POOR SUBGRADE.

TYPICAL CROSS-SECTION INTERIOR ROADS W/18' PARKING STALLS ONE SIDE(RT)
NTS

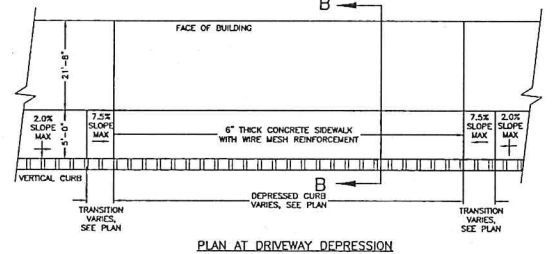
PRESTWICK LANE - LEFT SIDE (STA TO)
APPLECROSS WAY - RIGHT SIDE (AS SHOWN) (STA TO)
QUEENSFERRY DRIVE - LEFT SIDE (STA TO)



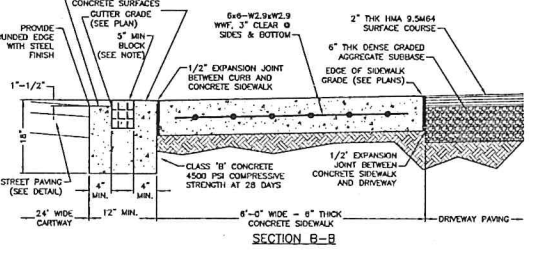
CONTINENTAL STRIPE CROSSWALK W/ STOP LINE
NTS



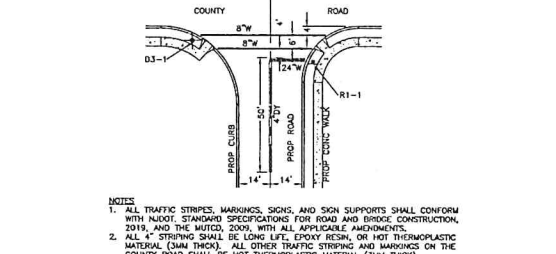
SIGN DETAILS
NTS



PLAN AT DRIVEWAY DEPRESSION
NTS



GARAGE APARTMENT DRIVEWAY APRON WITH MOUNTABLE GRANITE BLOCK CURB
NTS



INTERSECTION WITH COUNTY ROAD STRIPING DETAIL
NTS

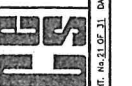
- NOTES**
- ALL TRAFFIC STRIPES, MARKINGS, SIGNS, AND SIGN SUPPORTS SHALL CONFORM WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, AND THE MUTCD, 2009, WITH ALL APPLICABLE AMENDMENTS.
 - ALL 4" STRIPING SHALL BE LONG LIFE, EPOXY RESIN, OR HOT THERMOPLASTIC MATERIAL (MIN THICK). ALL OTHER TRAFFIC STRIPING AND MARKINGS ON THE COUNTY ROAD SHALL BE HOT THERMOPLASTIC MATERIAL (MIN THICK) CONFORMING TO THE CURRENT NJDOT MATERIAL SPECIFICATIONS. CONTRACTOR SHALL HAVE STRIPING SUBCONTRACTOR SUBMIT PROPOSED SPECIFICATIONS TO THE COUNTY ENGINEER FOR APPROVAL.
 - ALL EXISTING TRAFFIC STRIPING AND PAVEMENT MARKINGS NOT CONFORMING WITH THIS PLAN SHALL BE REMOVED BY WATER BLASTING OR GRINDING, AS APPROVED BY THE COUNTY ENGINEER.

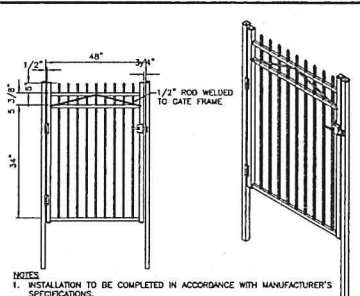
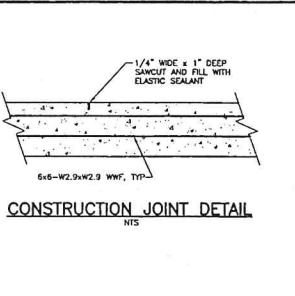
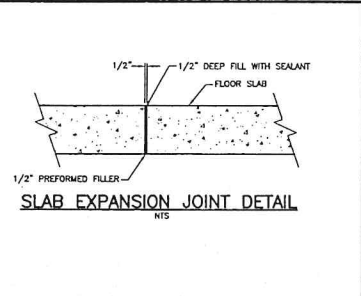
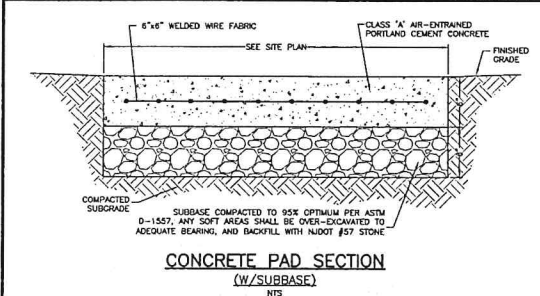
PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

NO.	DATE	REVISIONS

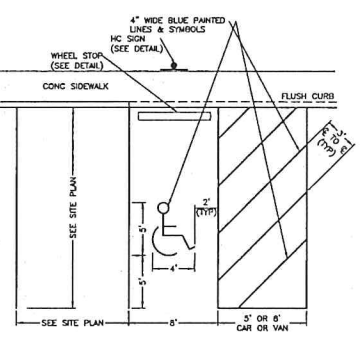
CONSTRUCTION DETAILS - SHEET A
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: SERVICES
CONSULTING ENGINEER
PROFESSIONAL ENGINEER
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-8888 FAX (609) 426-8889
WWW.SICKLERVILLE.COM

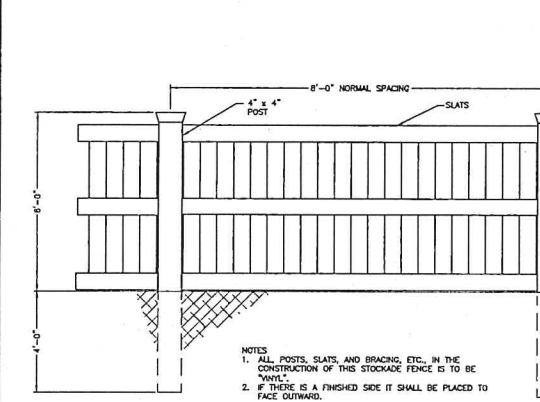
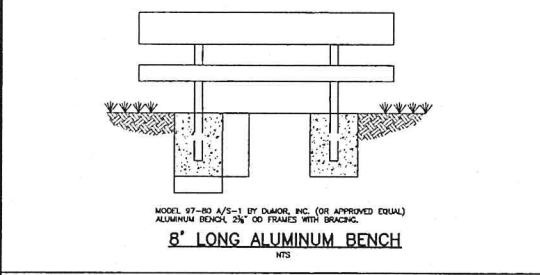
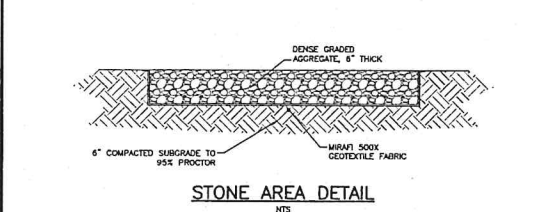




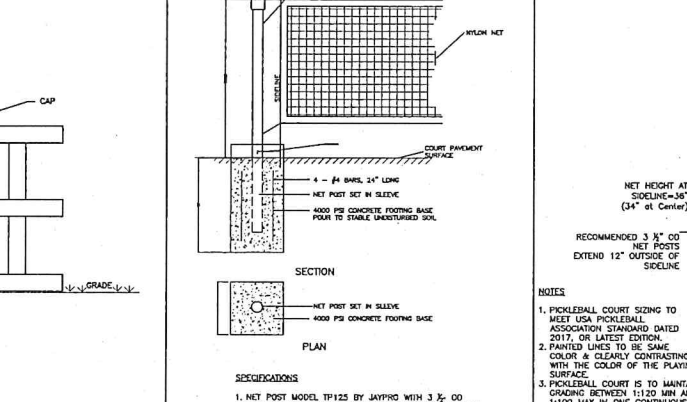
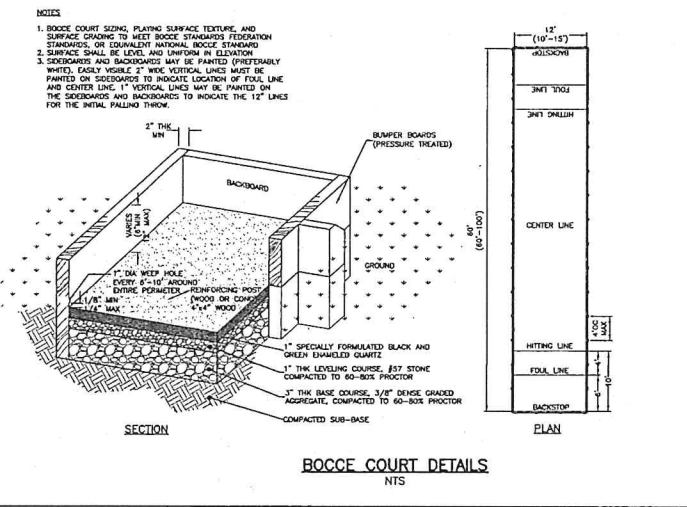
NOTES
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.



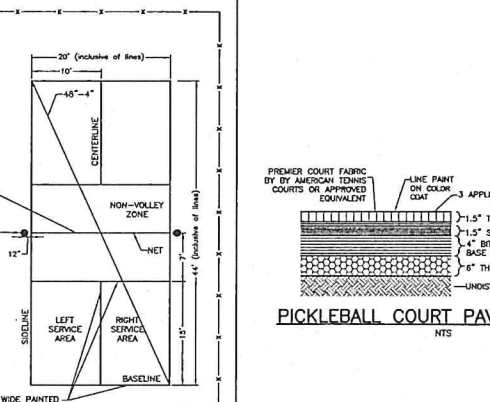
HANDICAP PARKING DETAIL
NTS



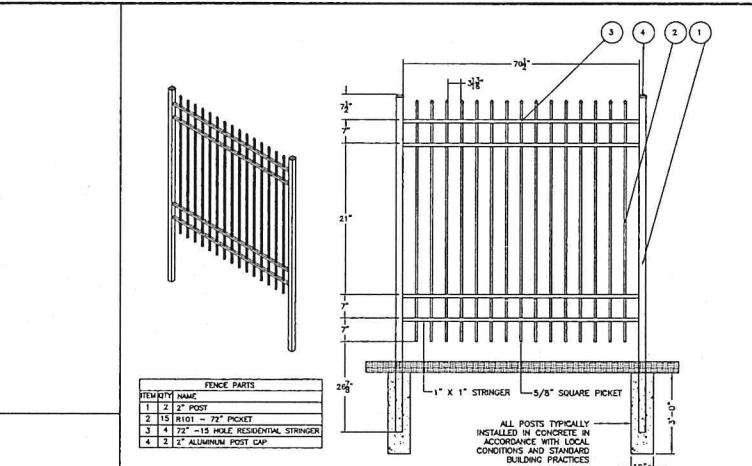
6' VINYL FENCE DETAIL
NTS



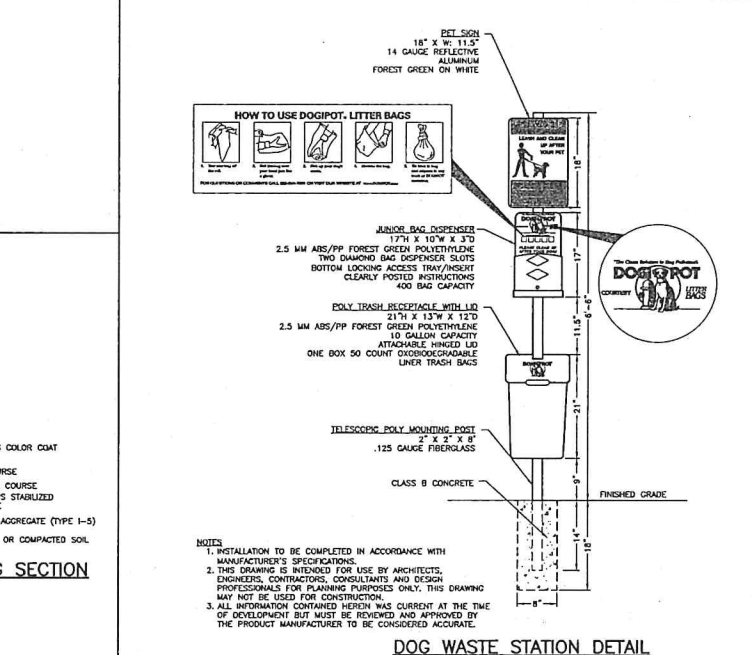
NET POST FENCE & FOOTING DETAIL
NTS



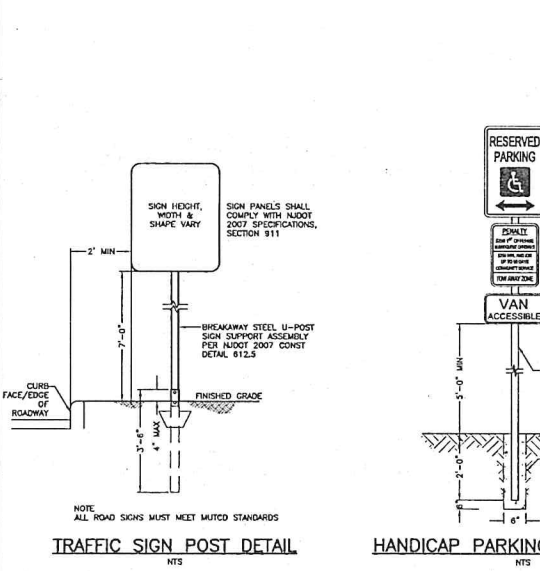
PICKLEBALL COURT PAVING SECTION
NTS



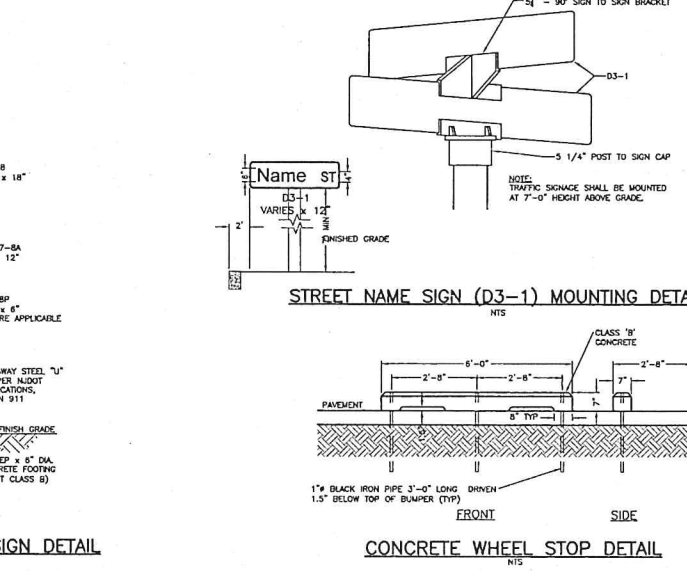
4' HIGH BLACK ORNAMENTAL FENCE
(BUCKINGHAM PER JERTH MANUFACTURING CO. INC OR APPROVED EQUAL)
(48" HEIGHT X 48" WIDE - BLACK)
(AT COMMUNITY CLUB HOUSE)
NTS



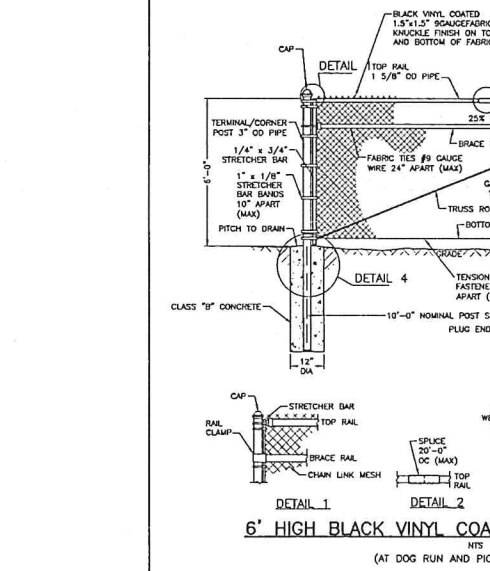
DOG WASTE STATION DETAIL
NTS



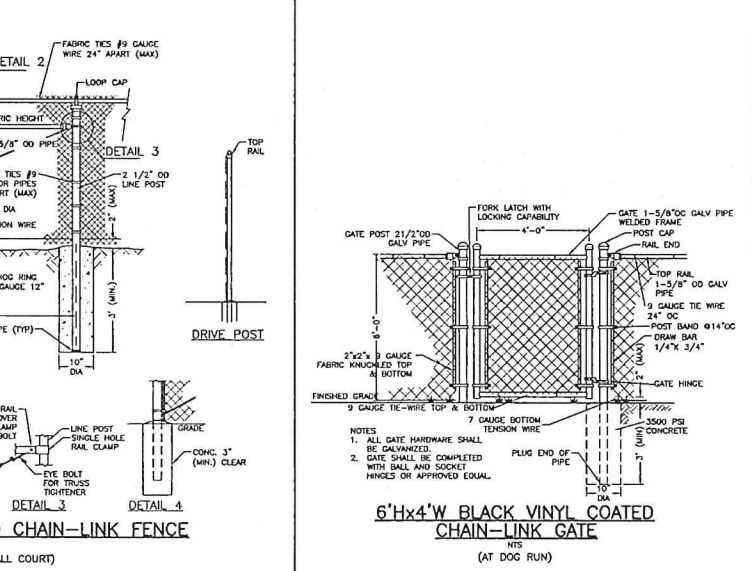
TRAFFIC SIGN POST DETAIL
NTS



HANDICAP PARKING SIGN DETAIL
NTS



CONCRETE WHEEL STOP DETAIL
NTS



6' HIGH BLACK VINYL COATED CHAIN-LINK FENCE
(AT DOG RUN AND PICKLEBALL COURT)
NTS

DATE: 04/26/20
PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

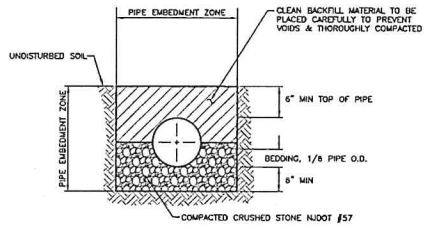
CONSTRUCTION DETAILS - SHEET B

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

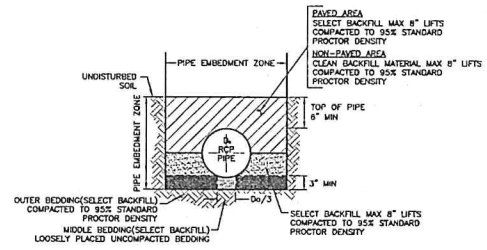
DATE: 04/26/20
DWG: 148-01-01
REV: 01

DESIGNED BY: [Signature]
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CRESS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE: (609) 426-1111 FAX: (609) 426-1112
WWW: WWW.PAULWITTOHN.COM

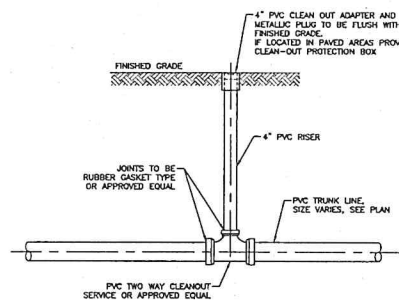
DATE: 04/26/20
DWG: 148-01-01
REV: 01



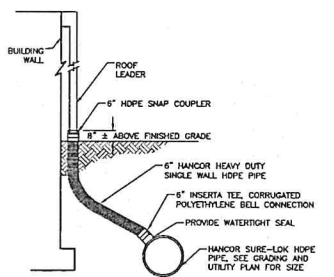
CRUSHED STONE BEDDING DETAIL
NTS



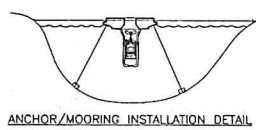
TRENCH DETAIL FOR RCP PIPE
NTS



ROOF DRAIN CLEAN-OUT DETAIL
NTS



ROOF DRAIN CONNECTION
NTS

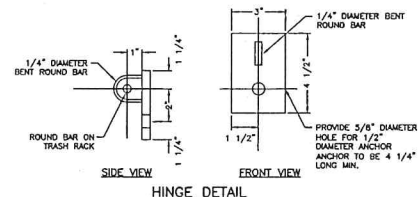


ANCHOR/MOORING INSTALLATION DETAIL
NTS

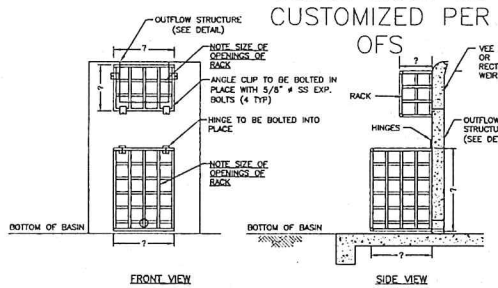
BASE NO.	QUANTITY	MODEL	SIZE	INLET	TYPE	SPRAY HEIGHT	MAN. OPERATING	FLOWING RATE
1	1	100	18"	18"	18"	30"	100 GPM	100 GPM
2	1	200	24"	24"	24"	30"	150 GPM	150 GPM
3	1	300	30"	30"	30"	30"	200 GPM	200 GPM

SUNBURST SURFACE SPRAY AERATOR
NTS

NOTE: 1. EACH BASIN TO BE PROVIDED WITH AN AERATING FOUNTAIN AS MANUFACTURED BY OTTERBERG BARBER, INC. SUNBURST MODEL 200 (E 18") OR MODEL 300 (E 24") - THE FLOWING AERATING FOUNTAIN SHALL BE ANCHORED TO THE BASIN BOTTOM PER THE MANUFACTURER'S SPECIFICATIONS. SEE SURFACE SPRAY DETAIL AND ANCHORING/MOORING DETAIL.



HINGE DETAIL
NTS

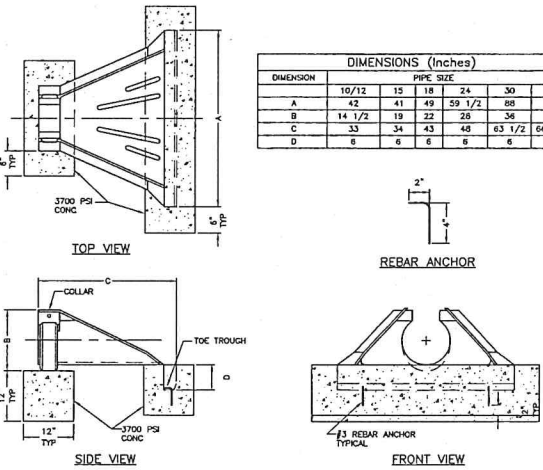


TRASH RACK DETAIL
NTS

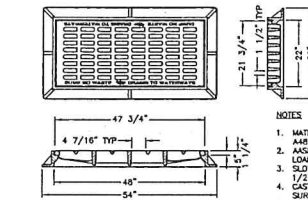
- NOTES:
- TRASH RACK(S) SHALL BE PROVIDED AT EVERY OUTLET STRUCTURE.
 - TRASH RACK(S) TO BE 5/8" DIA. ALUMINUM ROUNDS OR APPROVED EQUAL.
 - THE FOLLOWING NOTES ARE TAKEN FROM NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL, LAST UPDATED SEPTEMBER 2014, CHAPTER 9.4 EXTENDED DETENTION BASINS. TRASH RACKS SHALL MEET THE FOLLOWING CRITERIA:
 - PARALLEL BARS SPACED AT 1-INCH INTERVALS, UP TO THE ELEVATION OF THE WATER QUALITY DESIGN STORM.
 - MINIMUM BAR SPACING: 1 INCH, FOR ELEVATIONS IN EXCESS OF THE WATER QUALITY DESIGN STORM.
 - MAXIMUM BAR SPACING: 1/3 THE DIAMETER OF THE ORIFICE OR 1/3 THE WIDTH OF WEIR, WITH A MINIMUM SPACING OF 6 INCHES, FOR ELEVATIONS IN EXCESS OF THE WATER QUALITY DESIGN STORM.
 - MAXIMUM AVERAGE VELOCITY OF FLOW THROUGH CLEAN RACKS: 2.5 FEET/SECOND, UNDER FULL RANGE OF STAGE AND DISCHARGE COMPUTED ON THE BASIS OF THE NET AREA OF OPENING THROUGH RACK.
 - CONSTRUCTED OF RIGID, DURABLE AND CORROSION-RESISTANT MATERIAL, AND DESIGNED TO WITHSTAND A PERPENDICULAR LIVE LOADING OF 300 LBS./SF.

DIMENSIONS (Inches)

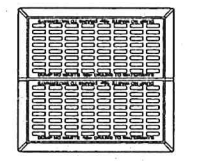
DIMENSION	10/12	15	18	24	30	36
A	42	41	49	59 1/2	88	88
B	14 1/2	19	22	28	36	43
C	33	34	43	48	63 1/2	66 1/2
D	8	8	8	8	8	8



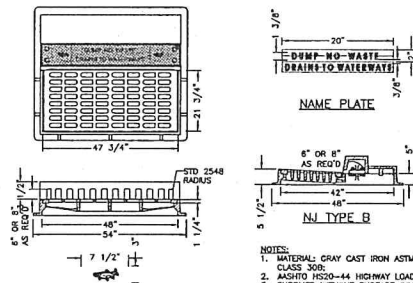
HDPE FLARED END SECTION DETAIL
NTS



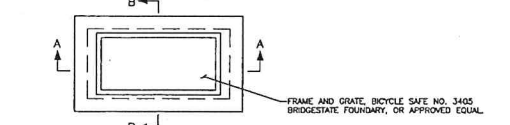
HEAVY DUTY TYPE A INLET FRAME WITH BICYCLE SAFE GRATES
NTS



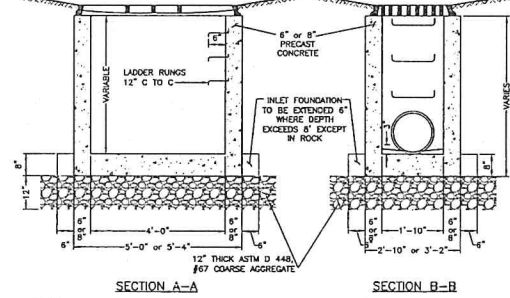
HEAVY DUTY TYPE E INLET FRAME WITH BICYCLE SAFE GRATES
NTS



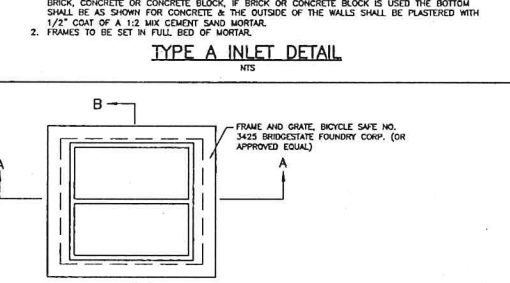
CURB INLET WITH BICYCLE SAFE GRATE AND TYPE J-ECO CURB PIECE
NTS



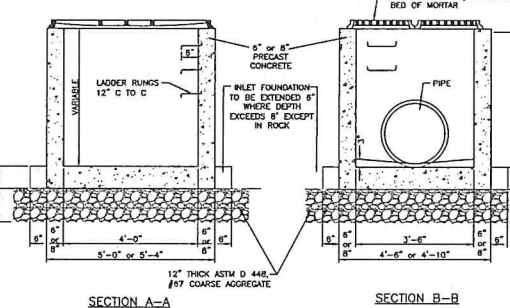
TYPE A INLET DETAIL
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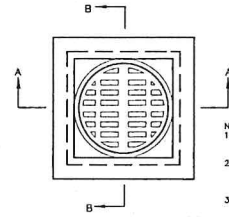
TYPE E INLET DETAIL
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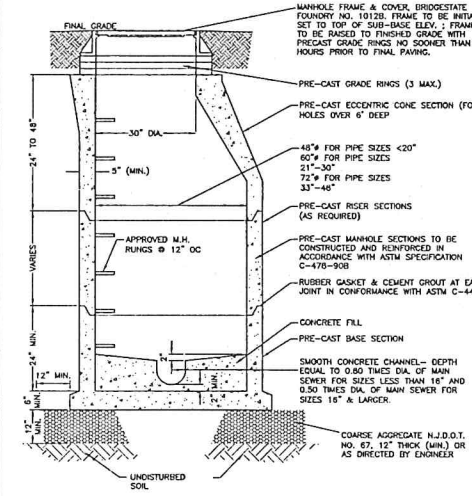
TYPE B INLET DETAIL
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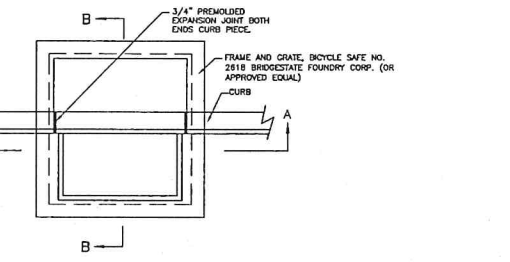
PRECAST CONCRETE STORM MANHOLE DETAIL
NTS



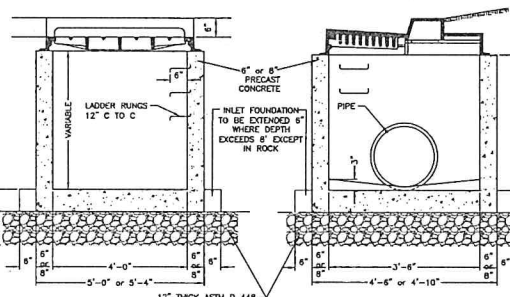
YARD INLET DETAIL
NTS



PRECAST CONCRETE STORM MANHOLE DETAIL
NTS



TYPE B INLET DETAIL
NTS

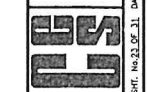


TYPE B INLET DETAIL
NTS

DATE: 01/20/20
DRAWN BY: Paul A. Witthorn
PAUL A. WITTHORN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GEO4749300

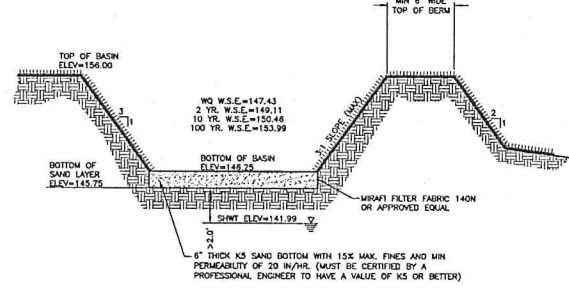
STORM SEWER DETAILS - SHEET A
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
645 BERLIN-GROSS MEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 227-8300 FAX (609) 332-2348 E-MAIL: enes@enes.com
WWW.PROJECTINFORMATION.COM
DATE: 01/20/20
SCALE: AS SHOWN
FILE NO.: 2014-02-0002
DRAWN BY:

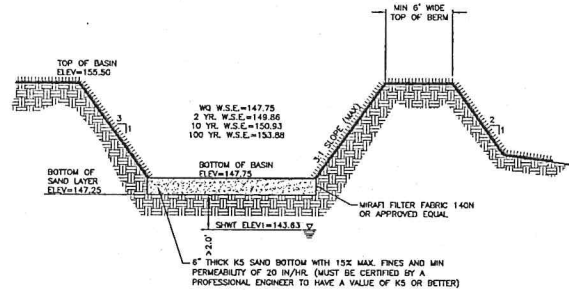


BASIN EXCAVATION/CONSTRUCTION NOTES:

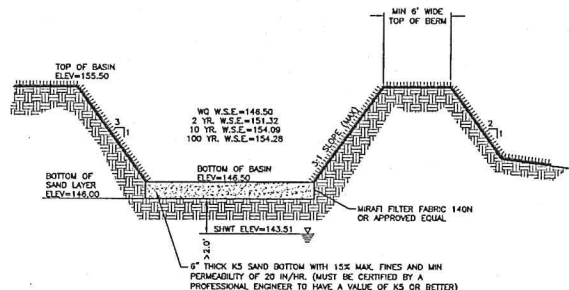
1. DURING THE EXCAVATION OF THE BASIN A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER MUST WITNESS AND CERTIFY THAT ALL EXCAVATION OPERATIONS WERE COMPLETED IN COMPLIANCE WITH THE PLANS.
2. A POST EXCAVATION PERCOLATION TEST MUST BE PERFORMED TO CONFIRM THE DESIGN INFILTRATION RATE OF K=4 (6-20 IN/HR) AND CERTIFIED BY A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER. SOIL BELOW THE BASIN MUST BE REPLACED AS DIRECTED BY A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER IF REQUIRED TO ACHIEVE THE DESIGN INFILTRATION RATE OF K=4 (6 TO 20 IN/HR).
3. IF ANY CLAY/SILT AND/OR RESTRICTIVE LAYERS ARE ENCOUNTERED DURING THE BASIN EXCAVATION OPERATIONS CES MUST BE NOTIFIED AT THE INITIAL TIME OF EXCAVATION OPERATION. AT THE DISCRETION OF A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER ALL CLAY/SILT AND RESTRICTIVE LAYERS ENCOUNTERED UNDER THE BASIN SHALL BE REMOVED AND REPLACED TO OBTAIN THE INFILTRATION DESIGN RATE (K=4, 6-20 IN/HR) AND COMPLIANCE WITH THE INTENT OF THE DESIGN TO DENATURE THE BASIN WITHIN 72 HOURS.
4. ALL CERTIFICATIONS FOR BASIN CONSTRUCTION/EXCAVATION AND POST EXCAVATION PERCOLATION TEST MUST BE SUBMITTED TO CES IMMEDIATELY AFTER INITIAL BASIN EXCAVATION IS COMPLETE.



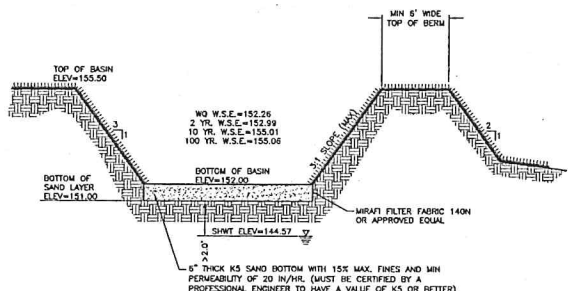
INFILTRATION BASIN A DETAIL
NTS



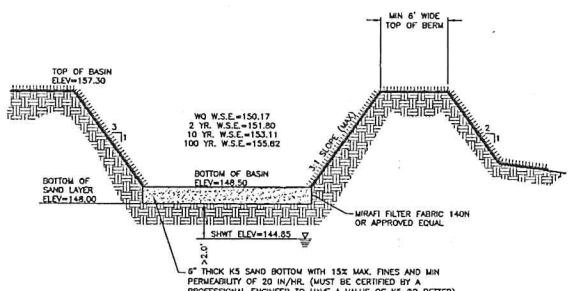
INFILTRATION BASIN A1 DETAIL
NTS



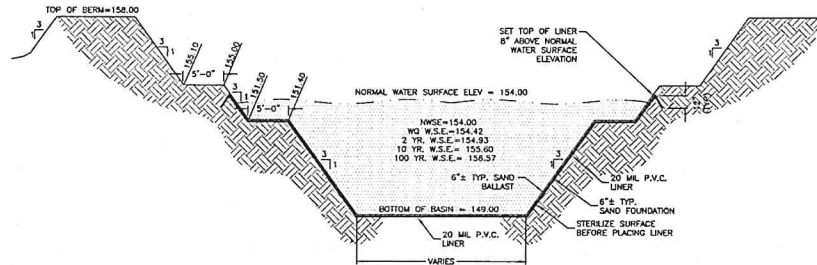
INFILTRATION BASIN A2 DETAIL
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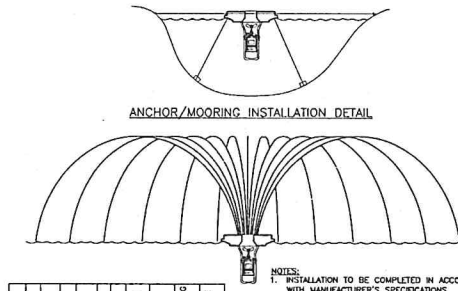
INFILTRATION BASIN A3 DETAIL
NTS



INFILTRATION BASIN B DETAIL
NTS



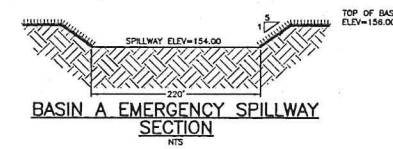
BASIN C CROSS SECTION DETAIL
NTS



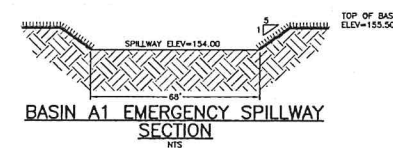
BASIN NO.	QUANTITY	MODEL	VOLTAGE	PHASE	SIZE	SPRAY HEIGHT	SPRAY DIAMETER	ANCHORING SYSTEM	ANCHORING RATE (CFM)
C	1	2008	3	120V	1	150"	10"	30"	775

NOTE:
1. EACH BASIN TO BE PROVIDED WITH AN AERATING FOUNTAIN AS MANUFACTURED BY OTTERBERG BARBER, INC., SUNBURST MODEL 200 (2 HP) OR MODEL 300 (3 HP). THE FLOATING AERATING FOUNTAIN SHALL BE ANCHORED TO THE BASIN BOTTOM PER THE MANUFACTURER'S SPECIFICATIONS. SEE SURFACE SPRAY DETAIL AND ANCHORING/MOORING DETAIL.

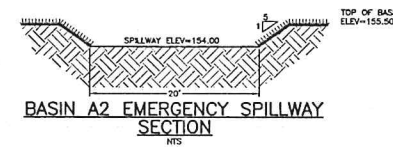
SUNBURST SURFACE SPRAY AERATOR
NTS



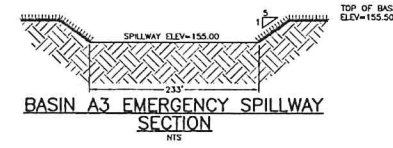
BASIN A EMERGENCY SPILLWAY SECTION
NTS



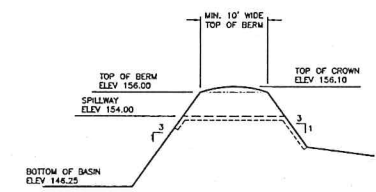
BASIN A1 EMERGENCY SPILLWAY SECTION
NTS



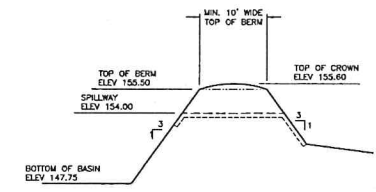
BASIN A2 EMERGENCY SPILLWAY SECTION
NTS



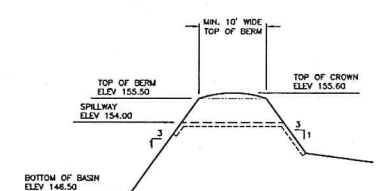
BASIN A3 EMERGENCY SPILLWAY SECTION
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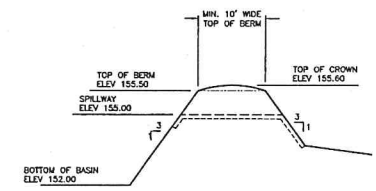
BASIN A BERM CROSS SECTION DETAIL
NTS



BASIN A1 BERM CROSS SECTION DETAIL
NTS



BASIN A2 BERM CROSS SECTION DETAIL
NTS



BASIN A3 BERM CROSS SECTION DETAIL
NTS

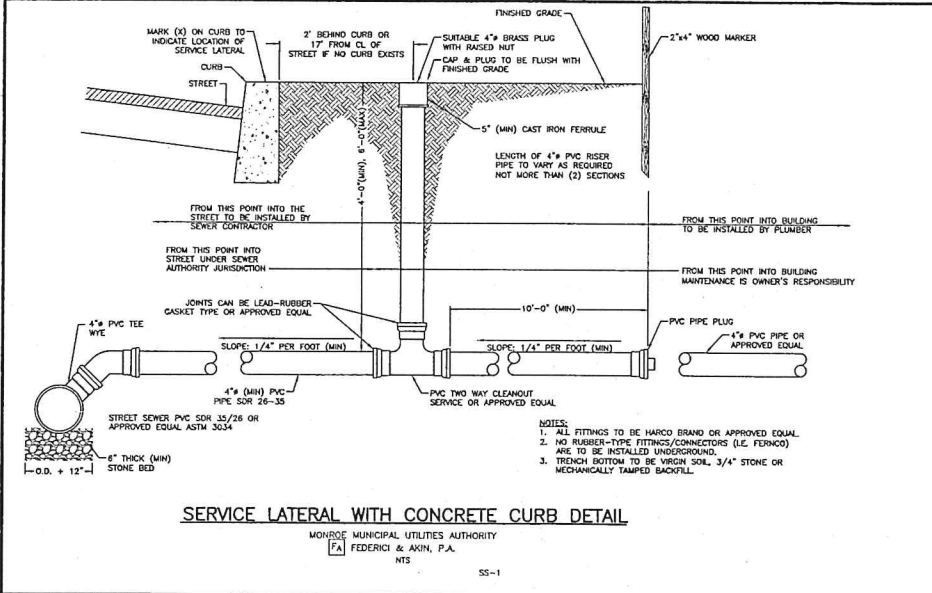
STORM SEWER DETAILS - SHEET B

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

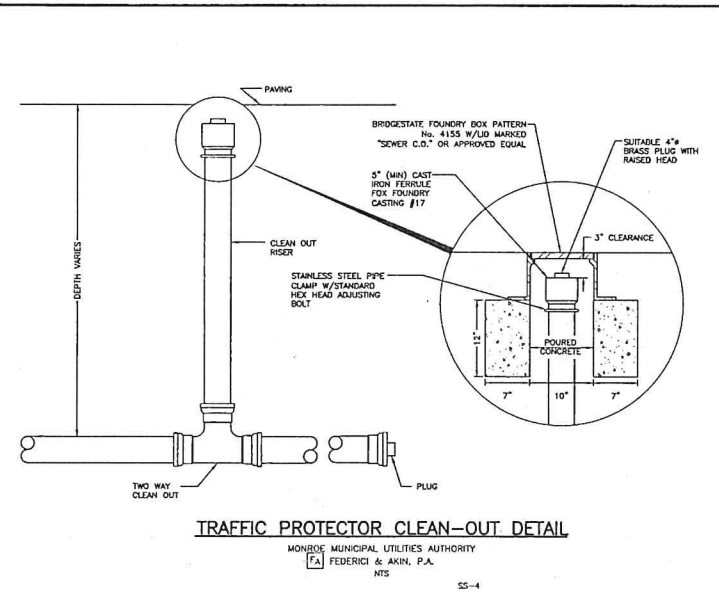
PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEER
645 BERLIN CROSS RD., SUITE 200, BRICK HALL, NEW JERSEY 08601
PHONE (609) 228-2000 - FAX (609) 233-2348 - EMAIL: ces@cesnj.com
A CORPORATION OF AFFILIATION NO. 2402078700



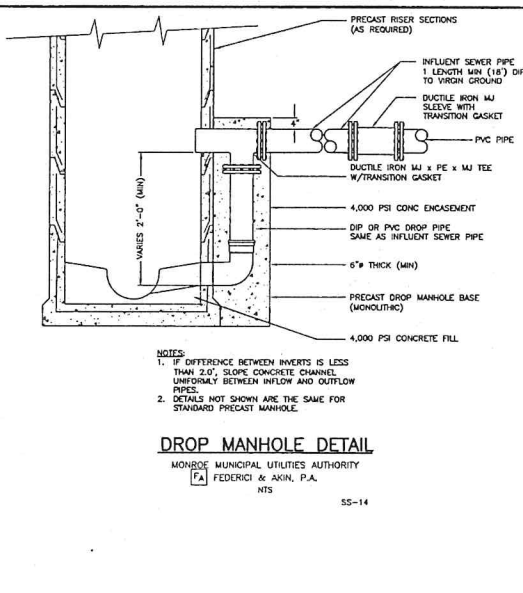
Paul A. Witthohn
PAUL A. WITTHOHN
DATE: 07/10/20
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300



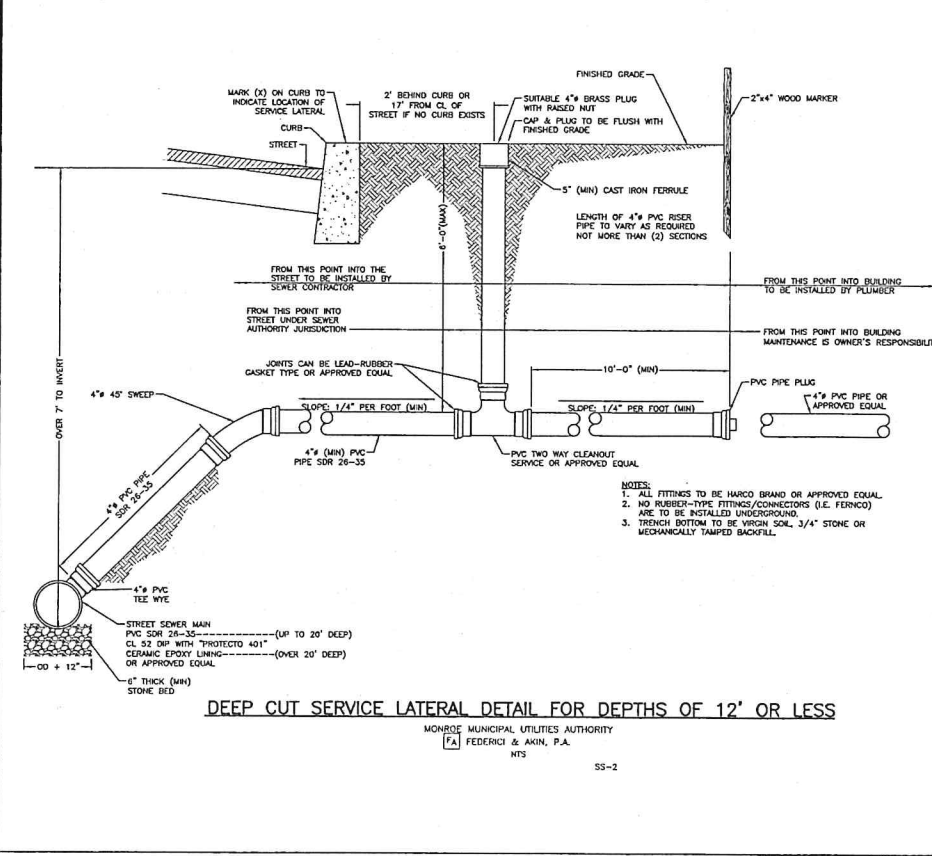
SERVICE LATERAL WITH CONCRETE CURB DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-1



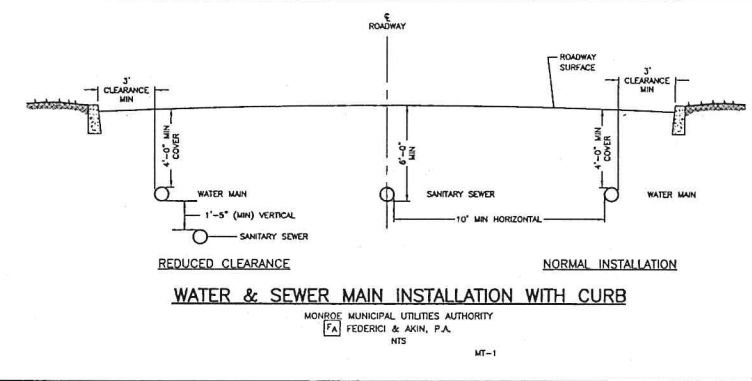
TRAFFIC PROTECTOR CLEAN-OUT DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-4



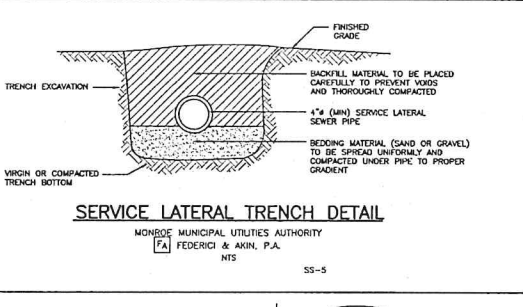
DROP MANHOLE DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-14



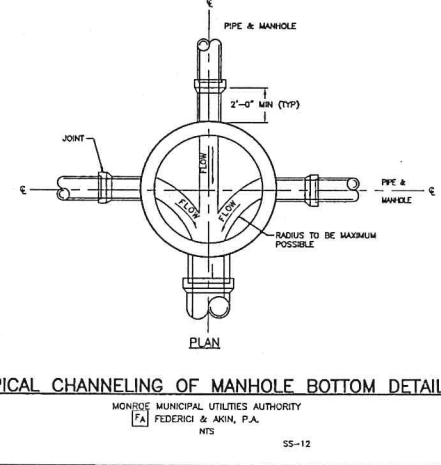
DEEP CUT SERVICE LATERAL DETAIL FOR DEPTHS OF 12' OR LESS
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-2



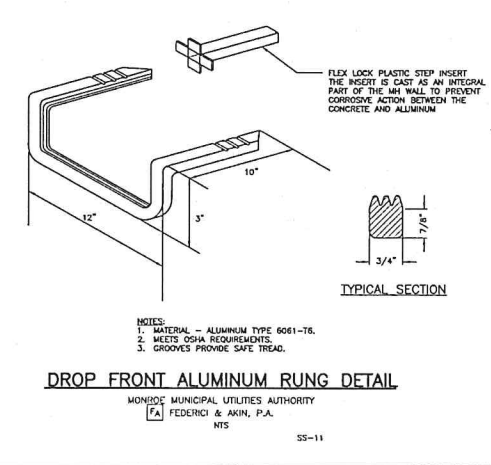
WATER & SEWER MAIN INSTALLATION WITH CURB
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 MT-1



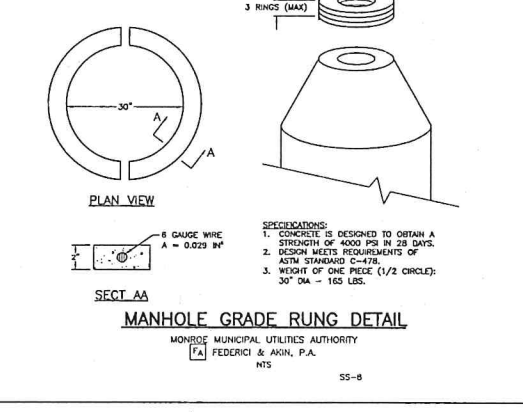
SERVICE LATERAL TRENCH DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-5



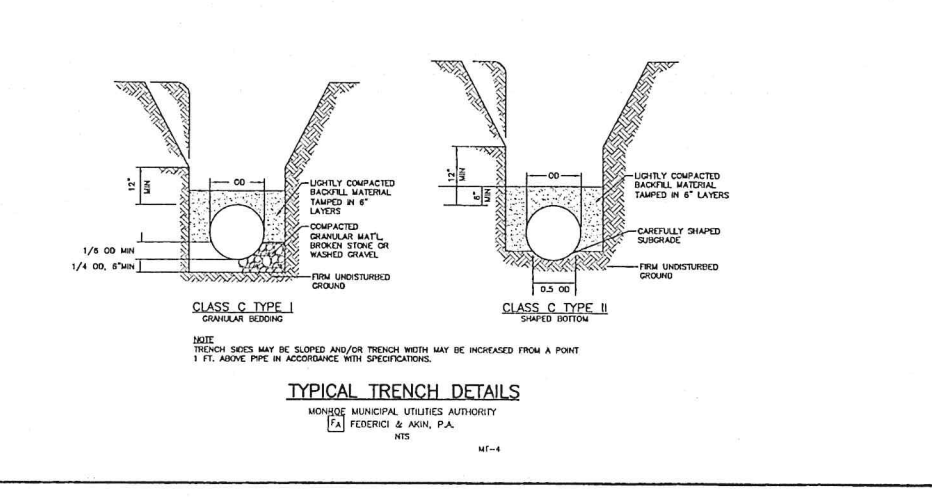
TYPICAL CHANNELING OF MANHOLE BOTTOM DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-12



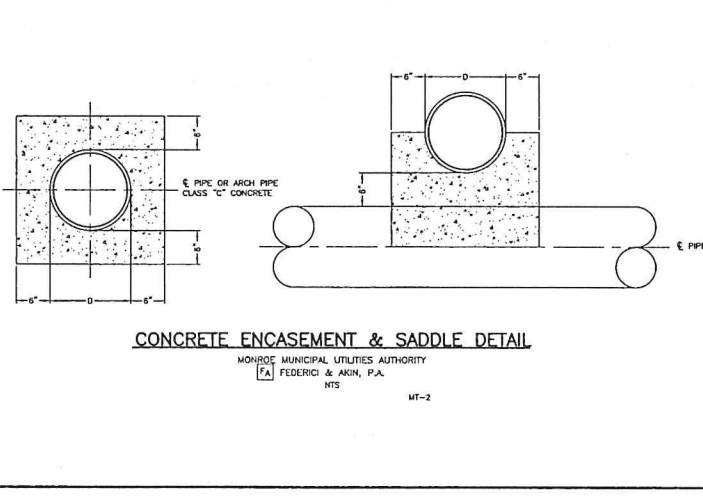
DROP FRONT ALUMINUM RUNG DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-11



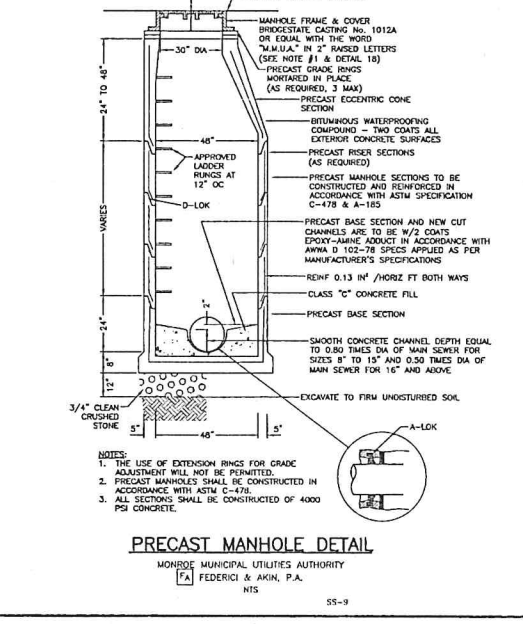
MANHOLE GRADE RUNG DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-6



TYPICAL TRENCH DETAILS
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 MT-6



CONCRETE ENCASEMENT & SADDLE DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 MT-2



PRECAST MANHOLE DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 SS-9

DATE: _____
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

SANITARY SEWER DETAILS
 PLATE 14B, BLOCK 14B01, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEER
 PROFESSIONAL ENGINEER AND SURVEYOR
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1100 FAX (609) 426-1101
 A DIVISION OF: FEDERICI & AKIN, P.A.

DATE: 03/21/2024 SCALE: AS NOTED, CEE No. 2384-S2, FILE No. 2384-S2-003 DRAWN BY:

SOILS LEGEND			
DESIGNATION	NAME	SLOPES	SOIL CLASS
AvB	AURA SANDY LOAM	2-5%	B
AvC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AvB	AURA-UREAN LAM COMPLEX	0-5%	B
W6A	WOODSTOWN-GLASSBORO COMPLEX	0-2%	B

LEGEND

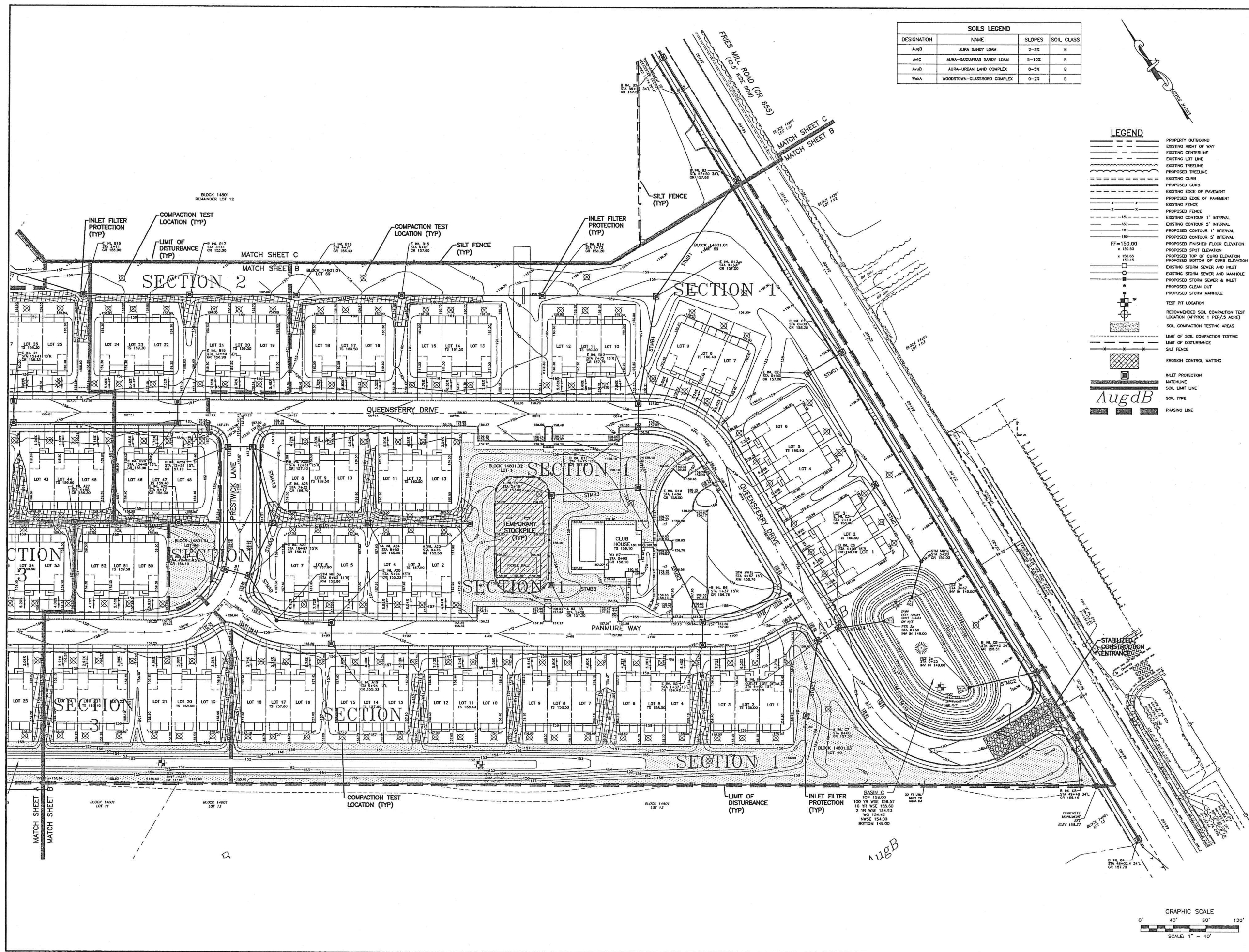
- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- EXISTING LOT LINE
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING STORM SEWER AND INLET
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER & INLET
- PROPOSED CLEAN OUT
- PROPOSED STORM MANHOLE
- TEST PIT LOCATION
- RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX 1 PER/3 ACRES)
- SOIL COMPACTION TESTING AREAS
- LIMIT OF SOIL COMPACTION TESTING
- LIMIT OF DISTURBANCE
- SALT FENCE
- EROSION CONTROL MATTING
- INLET PROTECTION
- MATCHLINE
- SOIL LIMIT LINE
- SOIL TYPE
- PHASING LINE

AugdB

PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

SOIL EROSION SEDIMENT CONTROL PLAN - SHEET B
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEER SERVICES
 PROFFER-ROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08061
 PHONE (609) 238-2500 FAX (609) 232-2346 WWW.PROFFER-ROSS.COM
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED
 DATE: 04/23/20 SCALE: 1"=40' FILE NO.: 2004-02-0201 DRAWN BY: LAM



P:\projects\2004\0423\042302\042302.dwg (10/17/20) 10/17/20 10:17:37 AM 4/23/20

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THE DISTRICT'S STANDARDS FOR TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH SALT FREE ORGANIC MULCH AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE DISTRICT'S SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUTE GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, THE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXIST. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2"-4" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER FABRIC. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DETAILED TO NORMAL POOL WITHIN 10 FEET OF THE DISCHARGE POINT.
16. N.J.S.A. 42:4-39, ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLETED AND ALL NECESSARY MEASURES HAVE BEEN TAKEN FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PRECONDITION TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDING AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE OBTAINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY COMMENCEMENT OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNER.
22. IMMEDIATELY AFTER THE COMPLETION OF STOPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARDS FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY FEET OF A FLOODING SLUICE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL CONSERVATION.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN HIGH SULFIDES OR HAVE A PH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS AND MULCHED WITH SALT FREE ORGANIC MULCH AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATING AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

TEMPORARY SOIL STABILIZATION COVER

PRIOR TO HALTING CONSTRUCTION FOR PERIODS LONGER THAN 30 DAYS AND DURING THE OFF SEASON, THE CONTRACTOR SHALL STABILIZE WITH TEMPORARY VEGETATIVE COVER AND ALL EXPOSED SOILS. TEMPORARY VEGETATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS.

1. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 LBS/ACRE OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT. IF SEED IS APPLIED OVER BANDED FERTILIZER, THE RATE OF FERTILIZER MAY BE REDUCED BY 50%.
 2. LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
 3. MULCHING SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNWEIGHTED, SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1/2 TO 2 TONS PER ACRE (TO 90 LBS/1000 SF). EXCEPT THAT WHERE A CHEMICAL IS USED (ANTHRA-CYANOLIC LIQUID MULCH-BINDER (TACKLING OR ADHESIVE AGENT)), THE RATE OF APPLICATION SHALL BE DOUBLED. MULCH SHALL BE SPREAD UNIFORMLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED.
 4. MULCH SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY LIQUID MULCH BINDERS-MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCHES.
- APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REINFORCER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE ONE OF THE FOLLOWING:
- 1) ORGANIC AND VEGETABLE BASED BINDERS-NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH LAYERS SATISFACTORY CURING CONDITIONS WILL FORM GROWNED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHOTOLOGICALLY UNWEIGHTED AND NOT RESULT IN A PITTING OR EROSION OF SURFACE COVER OF TURF-GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - 2) SYNTHETIC BINDERS-HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL BE LIQUOR BE SOLUBLE IN WATER OR LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- MULCH MAY BE USED IN PLACE OF TEMPORARY SEEDING IF SPREAD AT A RATE OF 2.0 TO 2.5 TONS PER ACRE AND ANCHORED AS DISCUSSED ABOVE. A MULCH ANCHORING TOOL MAY BE USED WHEN CONSIDERING TEMPORARY SEEDING. SEEDING SHALL BE DONE ABOUT 3 TO 4 INCHES, ON SLOPING LAND, THE OPERATION SHALL BE DONE ON THE CONTOUR.
- TEMPORARY SEED MIX SHALL BE FEDERAL MIX WITH A RATE OF 40 LBS/ACRE OR 1 LBS SF SEED MIX SHALL BE APPLIED UNIFORMITY. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED, EXCEPT FOR DILLED, HYDROSEEDING OR GEL PACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING.
- SEEDING MIX SHALL BE APPLIED BETWEEN 3/1 - 5/15 OR 8/15 - 10/1 WHEN REQUIRED. IF STABILIZATION IS REQUIRED OUTSIDE THESE SEEDING DATES, MULCH SHALL BE USED AS DEFINED IN NO. 5.

STANDARDS FOR DUST CONTROL

- DURING CONSTRUCTION ACTIVITY, THE FOLLOWING METHODS SHOULD BE CONSIDERED:
- A. CALCIUM CHLORIDE - SHALL BE IN LOOSE DRY GRANULAR FORM FINE ENOUGH TO USE IN A SEEDER. SEEDER SHALL BE APPLIED AT A RATE THAT WILL COVER THE SUBJECT SURFACE, BUT NOT CAUSE PLANT DAMAGE OR POLLUTION BY SUBSEQUENT WIND UP. SEEDER SHALL BE APPLIED AT A RATE THAT WILL COVER THE SUBJECT SURFACE, BUT NOT CAUSE PLANT DAMAGE OR POLLUTION BY SUBSEQUENT WIND UP.
 - B. SPRINKLING - SHALL BE OF NON-COMMINATED WATER SPRINKLED AT A RATE TO WET THE SUBJECT SURFACE, BUT NOT TO CAUSE EROSION OR POLLUTION/SUBSEQUENT.
 - C. OTHER METHODS ACCEPTABLE ARE LISTED IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE STATE OF NEW JERSEY" ISSUE, JULY 1999, SECTION 18 (DUST CONTROL).

PERMANENT SOIL STABILIZATION COVER

- PERMANENT VEGETATIVE COVER IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES AT THE SITE. THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE COVER. ALL EXPOSED AND DISTURBED SOILS, PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:
1. TOPSOILING: THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 5 INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY AND OF GOOD QUALITY. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 2. FERTILIZER: SHALL BE APPLIED AT A RATE OF 500 LBS OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A STATEMENT INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES.
 3. LIME AND FERTILIZER: SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES UNTIL A REASONABLE UNIFORM, FINE SEEDING PREPARED.
 4. MULCHING: SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNWEIGHTED, SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1/2 TO 2 TONS PER ACRE (90 LBS TO 90 LBS/1000 SF). EXCEPT THAT WHERE A CHEMICAL IS USED (ANTHRA-CYANOLIC LIQUID MULCH-BINDER (TACKLING OR ADHESIVE AGENT)), THE RATE OF APPLICATION SHALL BE 3 TONS/ACRE.
 5. MULCHING: SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY THE FOLLOWING METHOD: LIQUID MULCH BINDERS.
 6. PERMANENT SEED MIX SHALL BE:

PERMANENT SEED MIX	
SCS SEED MIX #14	RATE (LBS/ACRE)

7. ALL SEEDING, STABILIZATION, ETC TO BE AS SPECIFIED IN "STANDARDS FOR SOIL EROSION/SEDIMENT CONTROL IN NEW JERSEY".
- PERMANENT SEEDING MIX SHALL BE APPLIED BETWEEN 2/1-4/30 and 8/15-10/26.

SOIL DE-COMPACTATION AND TESTING REQUIREMENTS

1. SURFACE SOILS EXPOSED TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL APPLICATION) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 8.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GENERALLY IDENTIFIED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE IDENTIFIED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE MITIGATION VERIFICATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SAMPLED TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA IDENTIFIED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREABOUTS ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL ENGINEER.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. SLICKENSHOFER TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY SHALLOW SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

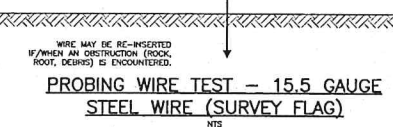
SOIL CONSERVATION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (EXCEPTATORY/TILLAGE (AT MINIMUM DEPTH) OR SHALL) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

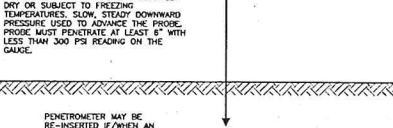
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOIL SHALL BE THROUGH DEEP SUBSOIL TILLAGE (E.G. SUBSOIL TILLAGE) WHILE THERE IS NO DANGER TO UNDERGROUND UTILITIES, CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBMITTED SUBJECT TO DISTRICT APPROVAL.

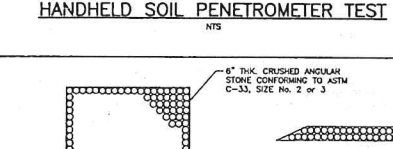
PROBING WIRE TEST - 15.5 GAUGE STEEL WIRE (SURVEY FLAG)



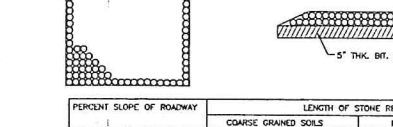
HANDHELD SOIL PENETROMETER TEST



SEDIMENT BAG DETAIL



STABILIZED CONSTRUCTION ENTRANCE DETAIL

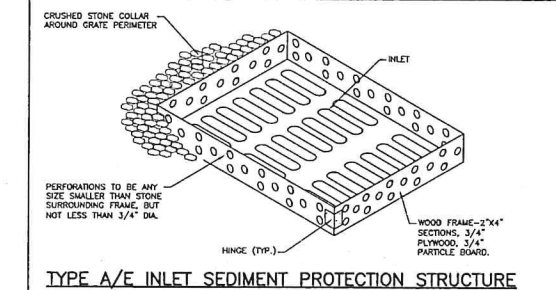


PERCENT SOIL OF ROADWAY	LENGTH OF STONE REQUIRED	
	100 FEET	FINE GRAINED SOILS
0 to 2%	100 FEET	100 FEET
2 to 5%	100 FEET	200 FEET
>5%	ENTIRE SURFACE STABILIZED WITH FINE BASE COURSE	

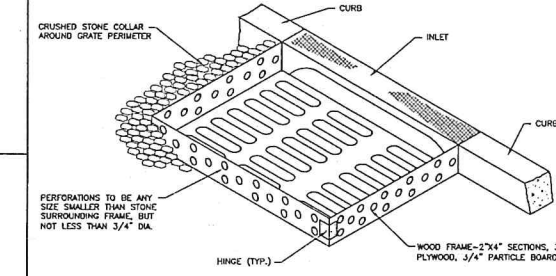
NOTE: WHERE NEW ROAD ADJACENT EXISTING MUNICIPAL ROAD OR COUNTY ROAD, A MINIMUM 100 FOOT LONG CONSTRUCTION ENTRANCE SHALL BE USED.

MAINTENANCE

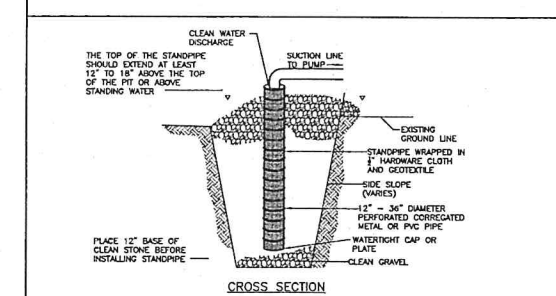
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SPILLED, DROPPED, WASHED, OR TRACKED DIRT PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.



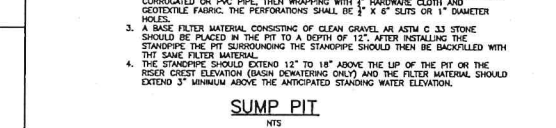
TYPE A/E INLET SEDIMENT PROTECTION STRUCTURE



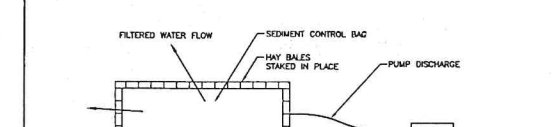
INLET SEDIMENT PROTECTION STRUCTURE



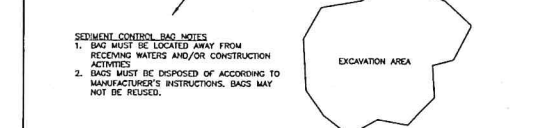
TEMPORARY SEDIMENT RISER



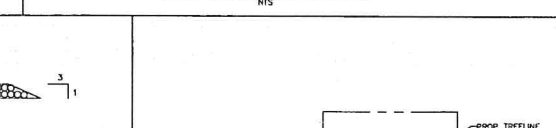
OUTFALL SEDIMENT TRAP AREA



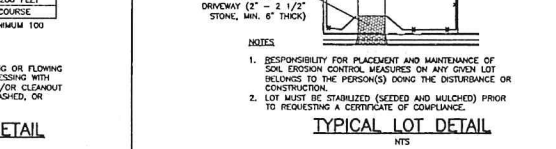
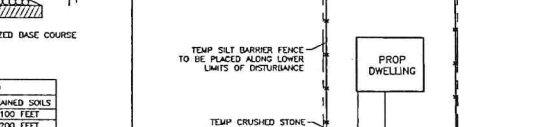
SEDIMENT BAG DETAIL



TYPICAL LOT DETAIL

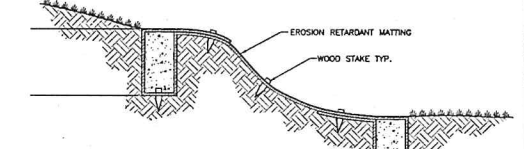


STABILIZED CONSTRUCTION ENTRANCE DETAIL

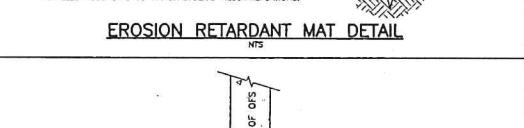


EROSION CONTROL MAT INSTALLATION GUIDELINES

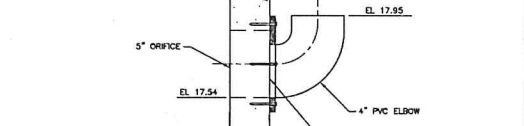
1. WHERE NOTED ON THE PLANS, SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MATTING. EROSION CONTROL MATTING SHALL BE STRAW EROSION CONTROL BLANKET SPECIFICATION 579 MANUFACTURED BY NORTH AMERICAN GREEN, 1449 HIGHWAY 41 NORTH, EVANVILLE INDIANA 47711 OR EQUAL. INSTALLATION OF THE SPECIFIED MATERIALS SHALL BE IN ACCORDANCE WITH THE GUIDELINES AND DETAILS PROVIDED HEREIN.
2. SURFACE PREPARATION: REMOVE ALL BRANCHES, DIRT CLODS, ROCKS, AND OTHER OBSTACLES THAT WILL PREVENT THE EROSION CONTROL MATTING FROM LAYING FLAT ON THE SOIL SURFACE. SPREAD SEEDS AND FERTILIZER BEFORE MAT INSTALLATION. SEED AND FERTILIZER MIXES SHALL BE AS SPECIFIED IN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
3. MAT ANCHOR TRENCHES: MAT ANCHOR TRENCHES ARE REQUIRED AT THE UPSLOPE TERMINAL END OF THE EROSION CONTROL MATTING. MAT ANCHOR TRENCHES MUST BE A MINIMUM OF 8 INCHES DEEP BY 6 INCHES WIDE. TRENCHES MUST BE BACKFILLED AND COMPACTED AFTER THE MATTING HAS BEEN FASTENED IN PLACE.
4. MAT PLACEMENT: AFTER SURFACE PREPARATION AND MAT ANCHOR TRENCH EXCAVATION, PLACE MATTING IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - BEGIN PLACEMENT BY SECURING THE MAT FIRMLY INTO THE ANCHOR TRENCH, BACKFILL OVER FASTENERS AND COMPACT FIRMLY WITH TAMPER.
 - ROLL THE BLANKET DOWN THE SLOPE SO THAT IT LAYS FLAT, CONTINUING TO THE SOIL SURFACE. THE EDGES OF PARALLEL BLANKETS MUST BE FASTENED WITH APPROXIMATELY 2 INCHES OF OVERLAP.
 - IF ROLL ENDS, SPLICE NEW ROLL BY OVERLAPPING UPHILL BLANKET OVER NEW BLANKET BY APPROXIMATELY 4 INCHES, AND FASTEN IN PLACE.
 - ANCHOR PERIMETER SIDES AND BOTTOM OF MAT.
5. GROUND FASTENING: EROSION CONTROL MAT PLACED AS DESCRIBED ABOVE SHALL BE FIRMLY ANCHORED TO THE GROUND WITH WIRE STAPLES OR WOODEN STAKES. FASTENERS SHALL BE PLACED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS BASED UPON THE GROUND SLOPE. OVERLAP AREAS SHALL BE FASTENED APPROXIMATELY EVERY 12 INCHES.



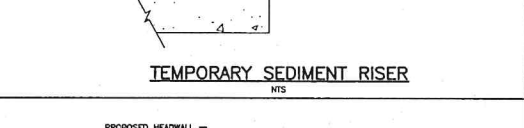
EROSION RETARDANT MAT DETAIL



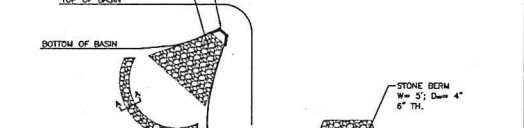
TEMPORARY SEDIMENT RISER



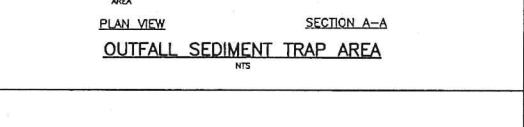
OUTFALL SEDIMENT TRAP AREA



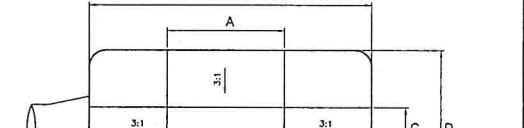
SEDIMENT BAG DETAIL



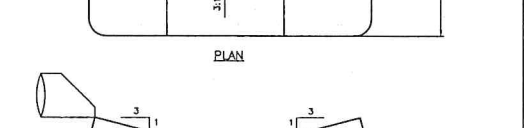
TYPICAL LOT DETAIL



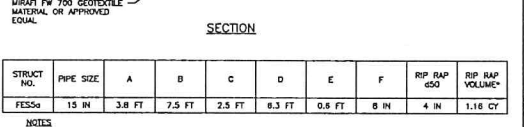
STABILIZED CONSTRUCTION ENTRANCE DETAIL



TYPICAL LOT DETAIL



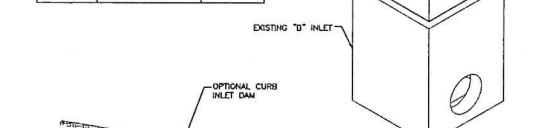
PREFORMED SCOUR HOLE DETAIL



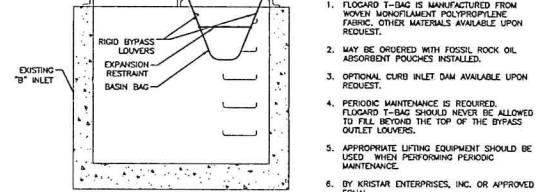
PREFORMED SCOUR HOLE DETAIL



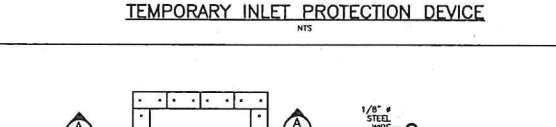
SPECIFIER CHART			
MODEL NO.	CATCH BASIN INSIDE DIMENSION (INCH x INCH)	CURB DAM OPTION (YES/NO)	
FG-TB24	24x24	NO	
FG-TB24C	24x24	YES	
FG-TB24SB	24x26	NO	
FG-TB24SBC	24x26	YES	
FG-TB36	36x36	NO	
FG-TB36C	36x36	YES	



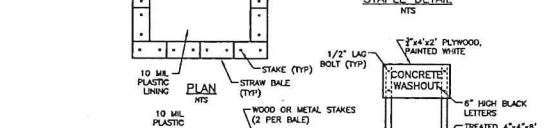
TEMPORARY INLET PROTECTION DEVICE



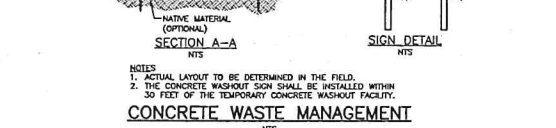
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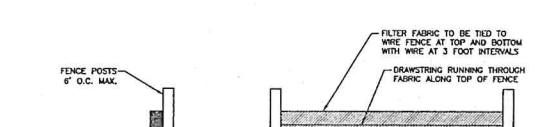
SILT FENCE DETAIL



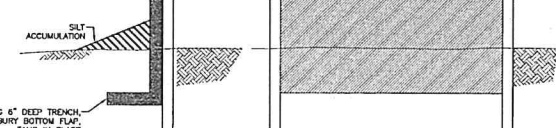
FES RIP RAP DETAIL



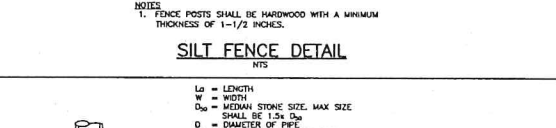
PREFORMED SCOUR HOLE DETAIL



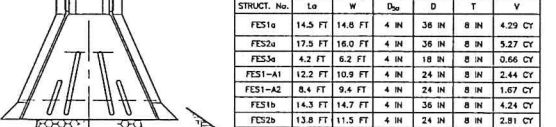
PREFORMED SCOUR HOLE DETAIL



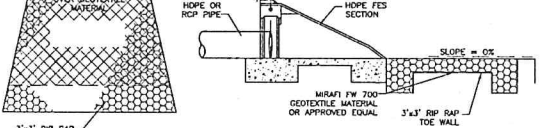
PREFORMED SCOUR HOLE DETAIL



PREFORMED SCOUR HOLE DETAIL



PREFORMED SCOUR HOLE DETAIL



PREFORMED SCOUR HOLE DETAIL

DATE: _____
 PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE0479300

SOIL EROSION SEDIMENT CONTROL NOTES & DETAILS

THE GREENS
 PLATE 14B, BLOCK 14B01, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

DATE: _____
 DWY: _____
 REVISIONS

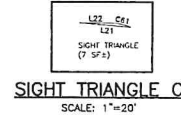
NO.	DATE	DESCRIPTION

PREPARED BY: SERVICES
 CONSULTING ENGINEERS & LAND SURVEYORS
 PROFESSIONAL ENGINEERS & LAND SURVEYORS (BOB)
 645 BELLEVILLE AVENUE, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1234 FAX (609) 426-1235
 E-MAIL: bob@services.com WEBSITE: www.services.com
 A MEMBER OF THE CORPORATION OF PROFESSIONAL ENGINEERS AND SURVEYORS OF NEW JERSEY

DATE: _____
 DWY: _____
 REVISIONS

SITE DATA

1. THE PROPERTY IN QUESTION IS KNOWN AS LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLoucester COUNTY, NEW JERSEY.
2. OWNER/APPLICANT: N.W.D. DEVELOPMENT
701 COOPER STREET, SUITE 7
WOODRIDGE, NEW JERSEY
856-348-4400
3. PROPERTY IN QUESTION CONTAINS: 28.264 AC ± (1,231,193 SF ±)
4. PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL
5. PRESENT LAND USE: VACANT
6. PROPOSED PROJECT LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (39-TRUPEX BUILDINGS) ON 31.31 ACRES ±, NEIGHBORHOOD COMMERCIAL ON 7.97 AC ±.
EXISTING LOTS: 1 PROPOSED LOTS: 123 THIS SECTION: 53 TOTAL LOTS
7. OUTBOUND IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY & TOPOGRAPHY, THE GREENS SUBDIVISION, PLATE 148, BLOCK 14801, LOT 12 PREPARED BY CONSULTING ENGINEER SERVICES, DATED 3/31/2020.
8. HORIZONTAL DATUM SHOWN HEREON IS NAD83 NAVD83, BASED UPON GPS OBSERVATIONS.
9. TRAIL REQUIREMENTS FOR SINGLE-FAMILY ATTACHED:



DESCRIPTION	REQUIRED	PROPOSED	X
MINIMUM TRACT AREA	20 AC	31.31 AC	
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	
MINIMUM LOT AREA	2,000 SF	2,000 SF ±	
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR) 4,675 SF (END UNIT)	X
MINIMUM LOT DEPTH	100 FT	110 FT	
MINIMUM LOT WIDTH	20 FT	30 FT	
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (END UNITS)	25 FT	12.5 FT 25 FT BETWEEN BLDGS	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	
MINIMUM WALL TO ROW OR PAVEMENT	12 FT	12 FT	
MINIMUM BLDG WALL TO PERIMETER LOT LINE	50 FT	50 FT	
MAXIMUM LOT COVERAGE	75%	75%	
MAXIMUM BLDG HEIGHT	35 FT	35 FT	
BUFFERS	50 FT	50 FT	

MONROE TOWNSHIP PLANNING BOARD APPROVAL:
THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE: _____ PLANNING BOARD CHAIRPERSON
PRINT NAME: _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____. I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE: _____ PLANNING BOARD SECRETARY
PRINT NAME: _____

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C.40:550-1 ET SEQ.) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY

DATE: _____ MUNICIPAL CLERK
PRINT NAME: _____

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: _____ MUNICIPAL ENGINEER
PRINT NAME: _____

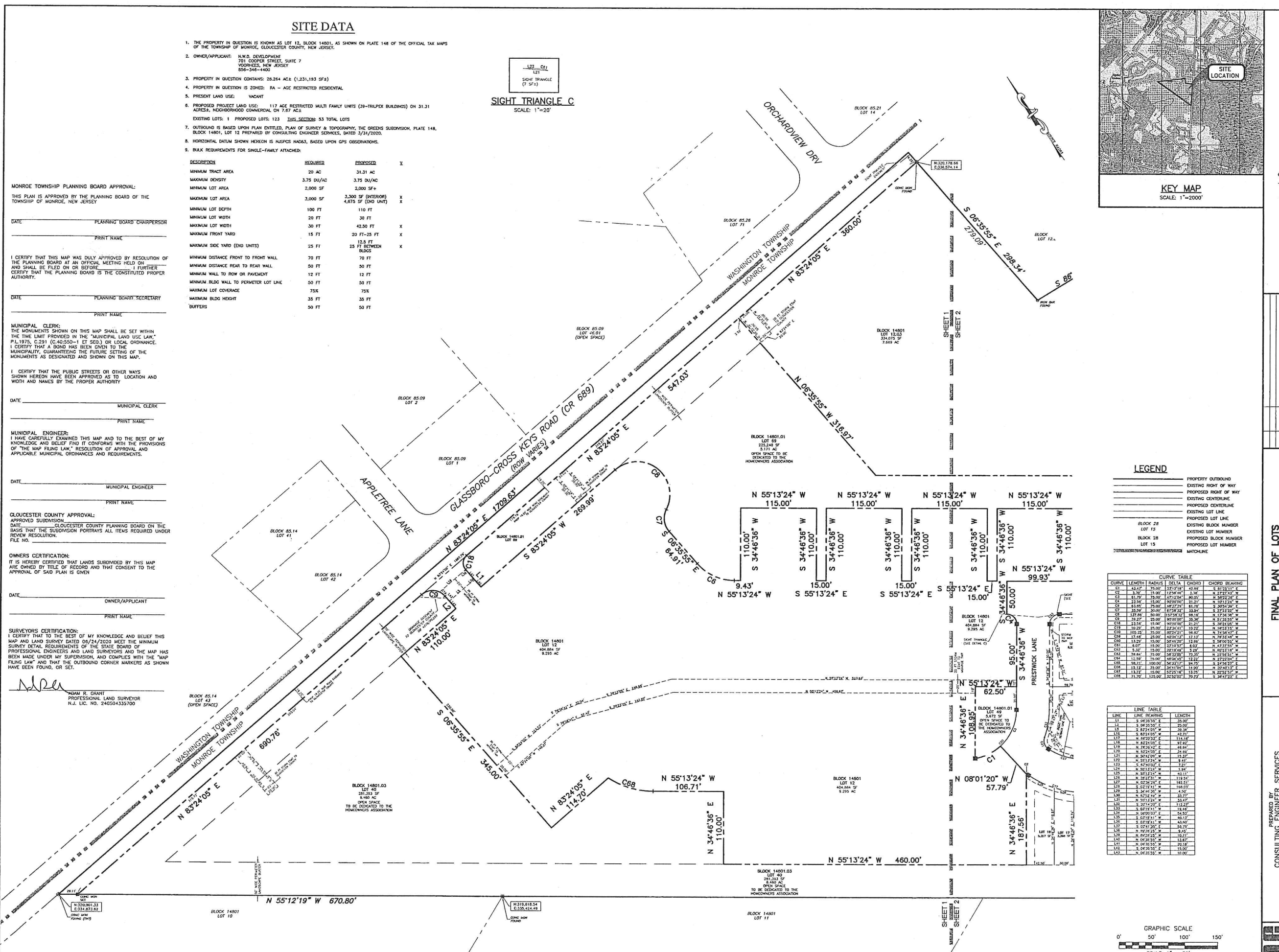
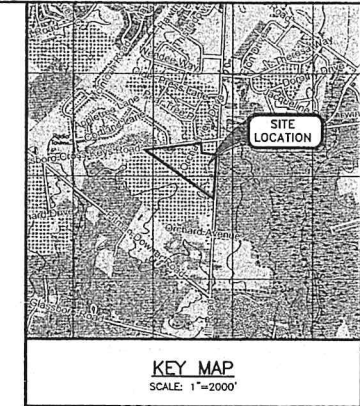
GLoucester COUNTY APPROVAL:
APPROVED SUBDIVISION
DATE: _____ GLoucester COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAITS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION.
FILE NO. _____

OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

DATE: _____ OWNER/APPLICANT
PRINT NAME: _____

SURVEYORS CERTIFICATION:
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 05/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 246504335700



LEGEND

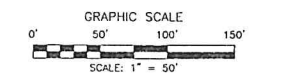
- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED BLOCK NUMBER
- PROPOSED LOT NUMBER
- MATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA (CHORD)	CHORD BEARING
C1	43.47	75.00	32.1718'	49.86
C2	3.30	15.00	1.2544'	3.36
C3	61.85	15.00	47.1240'	81.20
C4	23.26	15.00	16.0070'	33.21
C5	61.85	15.00	47.1240'	81.20
C6	30.29	30.00	16.5834'	33.84
C7	127.99	30.00	107.5430'	91.16
C8	39.27	25.00	19.0000'	35.36
C9	33.56	15.00	10.0000'	33.21
C10	10.29	25.00	4.2431'	13.22
C11	10.29	25.00	4.2431'	13.22
C12	10.29	25.00	4.2431'	13.22
C13	10.29	25.00	4.2431'	13.22
C14	10.29	25.00	4.2431'	13.22
C15	10.29	25.00	4.2431'	13.22
C16	10.29	25.00	4.2431'	13.22
C17	10.29	25.00	4.2431'	13.22
C18	10.29	25.00	4.2431'	13.22
C19	10.29	25.00	4.2431'	13.22
C20	10.29	25.00	4.2431'	13.22
C21	10.29	25.00	4.2431'	13.22
C22	10.29	25.00	4.2431'	13.22
C23	10.29	25.00	4.2431'	13.22
C24	10.29	25.00	4.2431'	13.22
C25	10.29	25.00	4.2431'	13.22
C26	10.29	25.00	4.2431'	13.22
C27	10.29	25.00	4.2431'	13.22
C28	10.29	25.00	4.2431'	13.22
C29	10.29	25.00	4.2431'	13.22
C30	10.29	25.00	4.2431'	13.22
C31	10.29	25.00	4.2431'	13.22
C32	10.29	25.00	4.2431'	13.22
C33	10.29	25.00	4.2431'	13.22
C34	10.29	25.00	4.2431'	13.22
C35	10.29	25.00	4.2431'	13.22
C36	10.29	25.00	4.2431'	13.22
C37	10.29	25.00	4.2431'	13.22
C38	10.29	25.00	4.2431'	13.22
C39	10.29	25.00	4.2431'	13.22
C40	10.29	25.00	4.2431'	13.22

LINE TABLE

LINE	LINE BEARING	LENGTH
L1	S 06°35'55" E	345.00'
L2	S 06°35'55" E	345.00'
L3	S 06°35'55" E	345.00'
L4	S 06°35'55" E	345.00'
L5	S 06°35'55" E	345.00'
L6	S 06°35'55" E	345.00'
L7	S 06°35'55" E	345.00'
L8	S 06°35'55" E	345.00'
L9	S 06°35'55" E	345.00'
L10	S 06°35'55" E	345.00'
L11	S 06°35'55" E	345.00'
L12	S 06°35'55" E	345.00'
L13	S 06°35'55" E	345.00'
L14	S 06°35'55" E	345.00'
L15	S 06°35'55" E	345.00'
L16	S 06°35'55" E	345.00'
L17	S 06°35'55" E	345.00'
L18	S 06°35'55" E	345.00'
L19	S 06°35'55" E	345.00'
L20	S 06°35'55" E	345.00'
L21	S 06°35'55" E	345.00'
L22	S 06°35'55" E	345.00'
L23	S 06°35'55" E	345.00'
L24	S 06°35'55" E	345.00'
L25	S 06°35'55" E	345.00'
L26	S 06°35'55" E	345.00'
L27	S 06°35'55" E	345.00'
L28	S 06°35'55" E	345.00'
L29	S 06°35'55" E	345.00'
L30	S 06°35'55" E	345.00'
L31	S 06°35'55" E	345.00'
L32	S 06°35'55" E	345.00'
L33	S 06°35'55" E	345.00'
L34	S 06°35'55" E	345.00'
L35	S 06°35'55" E	345.00'
L36	S 06°35'55" E	345.00'
L37	S 06°35'55" E	345.00'
L38	S 06°35'55" E	345.00'
L39	S 06°35'55" E	345.00'
L40	S 06°35'55" E	345.00'



FINAL PLAN OF LOTS
THE GREENS - SECTION 1
ORIGINAL TRACT: PLATE 148, BLOCK 14801, LOT 12
TOWNSHIP OF MONROE, GLoucester COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEER AND LAND SURVEYOR
645 BERLIN ROAD, SUITE 200, WOODRIDGE, NJ 08061
PHONE: (609) 228-2000 FAX: (609) 228-2344 EMAIL: aegr@cesnj.com
A CORPORATION OF ILLINOIS LICENSE NO. 246504335700

DATE: 05/24/2020 SCALE: 1" = 50' CES No. 2384-03 FILE No. 2384-03-2384-03-01 DRAWING BY: JES

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504335700

SITE DATA

1. THE PROPERTY IN QUESTION IS KNOWN AS A PORTION OF LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
2. OWNER/APPLICANT: N.W.D. DEVELOPMENT
701 COOPER STREET, SUITE 7
WOODBRIDGE, NEW JERSEY
856-348-4400
3. PROPERTY IN QUESTION CONTAINS 5.466 AC± (238,112± SF)
4. PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL
5. PRESENT LAND USE: VACANT
6. PROPOSED PROJECT LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (39-THRUPEX BUILDINGS) ON 31.31 AC±±, NEIGHBORHOOD COMMERCIAL ON 7.67 AC±.
- EXISTING LOTS: 1 PROPOSED LOTS: 123 THIS SECTION: 40 LOTS
7. OUTBOUND IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY & TOPOGRAPHY, THE GREENS SUBDIVISION, PLATE 148, BLOCK 14801, LOT 12 PREPARED BY CONSULTING ENGINEER SERVICES, DATED 3/31/2020.
8. HORIZONTAL DATUM SHOWN HEREON IS NAD83/NA83, BASED UPON GPS OBSERVATIONS.
9. BLANK REQUIREMENTS FOR SINGLE-FAMILY ATTACHED:

DESCRIPTION	REQUIRED	PROPOSED	X
MINIMUM TRACT AREA	20 AC	31.31 AC	
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	
MINIMUM LOT AREA	2,000 SF	2,000 SF±	
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR) 4,875 SF (END UNIT)	X
MINIMUM LOT DEPTH	100 FT	110 FT	
MINIMUM LOT WIDTH	20 FT	30 FT	
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (END UNITS)	25 FT	12.5 FT 25 FT BETWEEN BLDGS	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	
MINIMUM WALL TO ROW ON PAVEMENT	12 FT	12 FT	
MINIMUM BLDG WALL TO PERMETER LOT LINE	50 FT	50 FT	
MAXIMUM LOT COVERAGE	75%	75%	
MAXIMUM BLDG HEIGHT	35 FT	35 FT	
BUFFERS	50 FT	50 FT	

MONROE TOWNSHIP PLANNING BOARD APPROVAL:
THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE _____ PLANNING BOARD CHAIRPERSON
PRINT NAME _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON AND SHALL BE FILED ON OR BEFORE _____ I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE _____ PLANNING BOARD SECRETARY
PRINT NAME _____

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C.40:550-1 ET SEQ.) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY.

DATE _____ MUNICIPAL CLERK
PRINT NAME _____

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE _____ MUNICIPAL ENGINEER
PRINT NAME _____

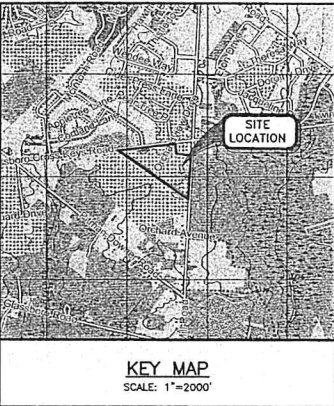
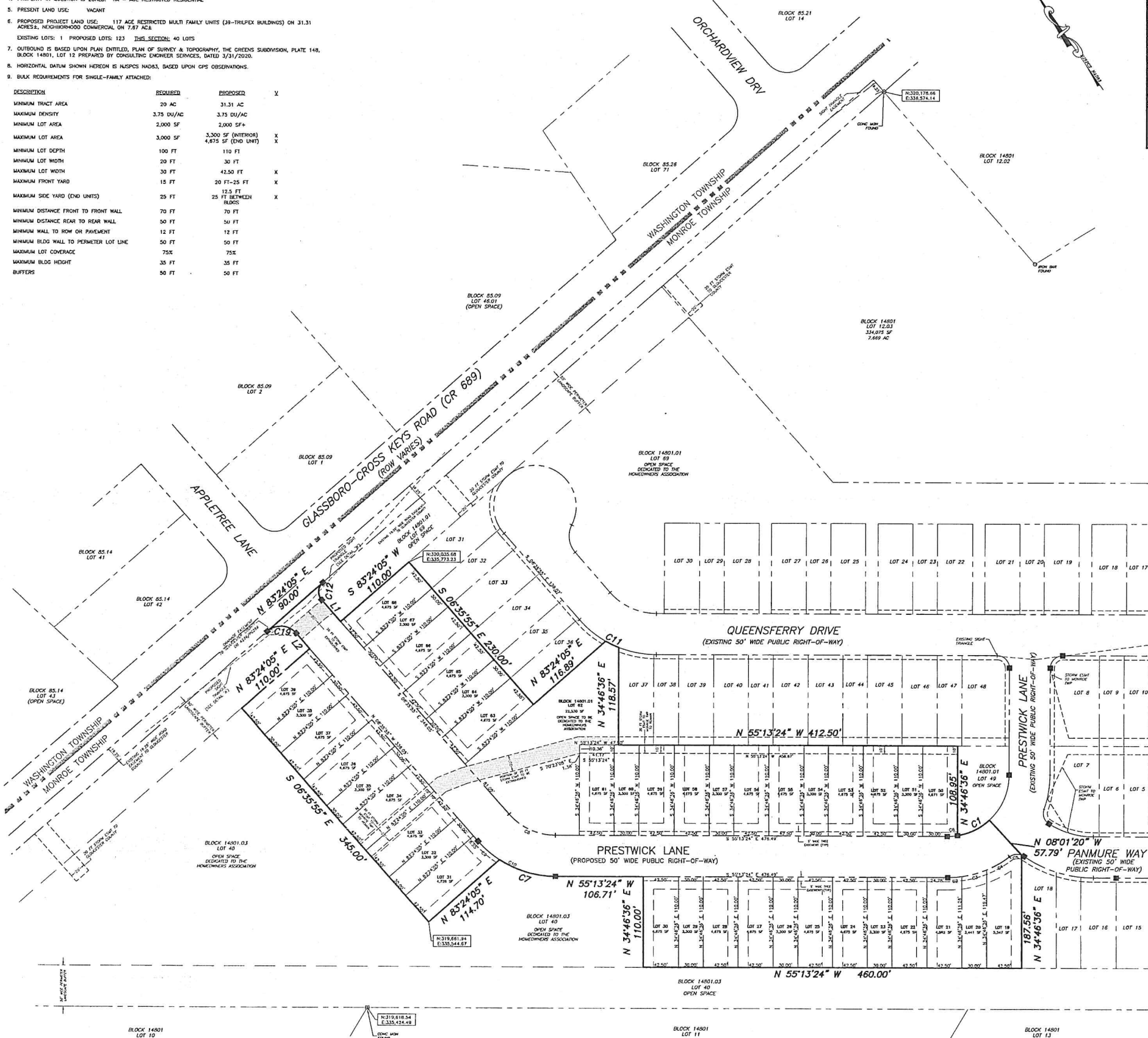
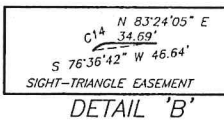
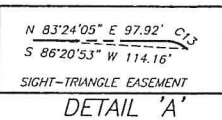
GLOUCESTER COUNTY APPROVAL:
APPROVED SUBDIVISION
DATE _____ GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION, FILE NO. _____

OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN.

DATE _____ OWNER/APPLICANT
PRINT NAME _____

SURVEYORS CERTIFICATION:
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 06/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

DATE _____ ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 246504335700



KEY MAP
SCALE: 1"=2000'

LEGEND

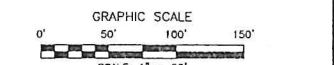
- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- MATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	159.17	175.00	117.21	59.89	S 84°29'11" E
C2	172.07	175.00	127.00	72.77	S 82°21'18" E
C3	31.16	175.00	147.75	23.77	S 29°21'18" E
C4	32.21	175.00	117.21	30.21	S 82°21'18" E
C5	152.21	175.00	58°32'25"	144.47	N 82°12'48" E
C6	12.82	75.00	117.21	12.82	N 82°12'48" E
C7	21.70	175.00	127.00	25.23	S 84°29'11" E
C8	63.00	75.00	117.21	41.25	S 82°21'18" E
C9	24.28	175.00	117.21	24.27	S 84°29'11" E
C10	106.00	175.00	117.21	103.82	S 82°21'18" E
C11	17.87	175.00	117.21	17.81	S 84°29'11" E
C12	22.58	175.00	117.21	22.57	S 82°21'18" E
C13	17.48	25.00	40°24'12"	17.12	N 78°33'05" E
C14	18.75	25.00	82°12'48"	18.75	S 82°12'48" E
C15	18.27	25.00	22°24'41"	18.27	N 18°21'15" W

LINE TABLE

LINE	LINE BEARING	LENGTH
L1	S 86°20'53" E	114.16
L2	S 86°20'53" E	25.00

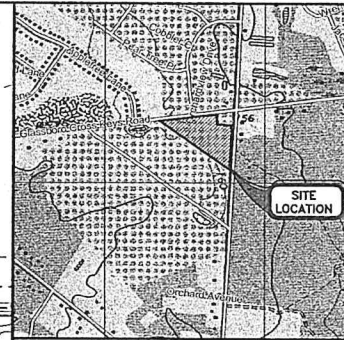
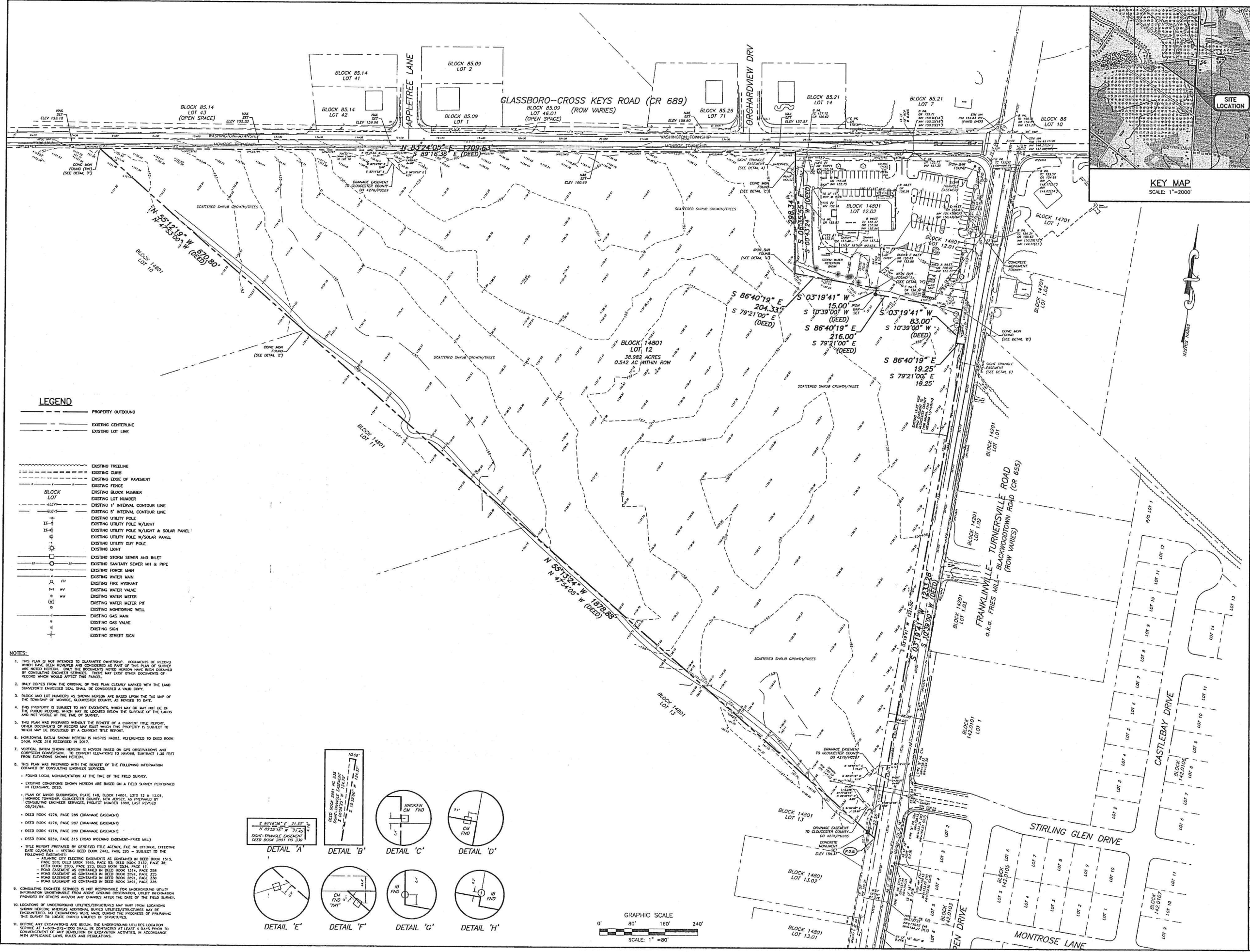


ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504335700

FINAL PLAN OF LOTS
THE GREENS - SECTION 3
ORIGINAL TRACT: PLATE 148, BLOCK 14801, LOT 12
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERKSHIRE BLVD., SUITE 200
PHILADELPHIA, PA 19104
PHONE: (215) 261-2200 • FAX: (215) 231-2341 • EMAIL: info@ces-nj.com

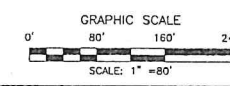
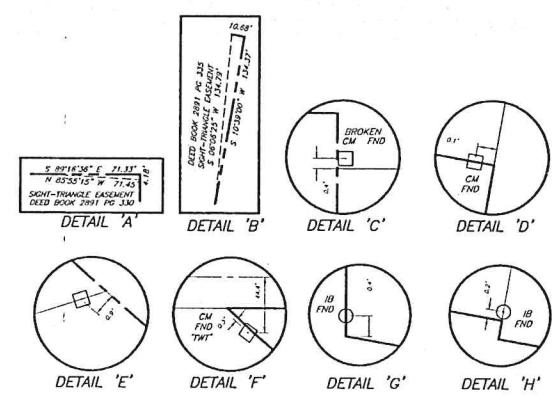




LEGEND

---	PROPERTY OUTBOUND
---	EXISTING CENTERLINE
---	EXISTING LOT LINE
---	EXISTING TIE LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	EXISTING BLOCK NUMBER
---	EXISTING LOT NUMBER
---	EXISTING 1' INTERNAL CONTOUR LINE
---	EXISTING 5' INTERNAL CONTOUR LINE
---	EXISTING UTILITY POLE
---	EXISTING UTILITY POLE W/LIGHT
---	EXISTING UTILITY POLE W/LIGHT & SOLAR PANEL
---	EXISTING UTILITY POLE W/SOLAR PANEL
---	EXISTING UTILITY CUY POLE
---	EXISTING LIGHT
---	EXISTING STORM SEWER AND INLET
---	EXISTING SANITARY SEWER MH & PIPE
---	EXISTING FORCE MAIN
---	EXISTING WATER MAIN
---	EXISTING FIRE HYDRANT
---	EXISTING WATER VALVE
---	EXISTING WATER METER
---	EXISTING WATER METER PIT
---	EXISTING MONITORING WELL
---	EXISTING GAS MAIN
---	EXISTING GAS VALVE
---	EXISTING SIGN
---	EXISTING STREET SIGN

- NOTES:**
- THIS PLAN IS NOT INTENDED TO GUARANTEE OWNERSHIP. DOCUMENTS OF RECORD WHICH HAVE BEEN REVIEWED AND CONSIDERED AS PART OF THIS PLAN OF SURVEY ARE NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON SHALL BE OBTAINED BY CONSULTING ENGINEER SERVICES. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
 - ONLY COPIES FROM THE ORIGINAL OF THIS PLAN CLEARLY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED A VALID COPY.
 - BLOCK AND LOT NUMBERS SHOWN HEREON ARE BASED UPON THE TAX MAP OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, AS RECORDED TO DATE.
 - THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, WHICH MAY OR MAY NOT BE OF THE PUBLIC RECORD, WHICH MAY BE LOCATED BELOW THE SURFACE OF THE LANDS AND NOT VISIBLE AT THE TIME OF SURVEY.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. OTHER DOCUMENTS OF RECORD MAY EXIST WHICH THE PROPERTY IS SUBJECT TO WHICH MAY BE DISCLOSED BY A CURRENT TITLE REPORT.
 - HORIZONTAL DATA SHOWN HEREON IS BASED ON NAD83, REFERENCED TO DEED BOOK 3486, PAGE 314, RECORDED IN 2011.
 - VERTICAL DATA SHOWN HEREON IS BASED ON GPS OBSERVATIONS AND CORRECTION DATA, TO CONVERT ELEVATIONS TO NAVD83, SURFACE 1.35 FEET FROM ELEVATION SHOWN HEREON.
 - THIS PLAN WAS PREPARED WITH THE BENEFIT OF THE FOLLOWING INFORMATION OBTAINED BY CONSULTING ENGINEER SERVICES:
 - FOUND LOCAL MONUMENTATION AT THE TIME OF THE FIELD SURVEY.
 - EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY PERFORMED IN FEBRUARY, 2020.
 - PLAN OF WHOR SURVEYOR, PLATE 148, BLOCK 14801, LOTS 12 & 13, MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY, AS PREPARED BY CONSULTING ENGINEER SERVICES, PROJECT NUMBER 1906, LAST REVISED 05/24/19.
 - DEED BOOK 4276, PAGE 285 (DRAINAGE EASEMENT)
 - DEED BOOK 4276, PAGE 287 (DRAINAGE EASEMENT)
 - DEED BOOK 4276, PAGE 289 (DRAINAGE EASEMENT)
 - DEED BOOK 5259, PAGE 315 (ROAD WIDENING EASEMENT-FENCE MIT)
 - TITLE REPORT PREPARED BY CERTIFIED TITLE AGENCY, FILE NO CTS146, EFFECTIVE DATE 02/09/24 - VESTING DEED BOOK 2442, PAGE 293 - SUBJECT TO THE FOLLOWING EASEMENTS:
 - ATLANTIC CITY ELECTRIC EASEMENTS AS CONTAINED IN DEED BOOK 1513, PAGE 200; DEED BOOK 1568, PAGE 122; DEED BOOK 2132, PAGE 361; DEED BOOK 2203, PAGE 222; DEED BOOK 2534, PAGE 17.
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 1214, PAGE 238
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2991, PAGE 325
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2991, PAGE 326
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2991, PAGE 325
 - CONSULTING ENGINEER SERVICES IS NOT RESPONSIBLE FOR UNDERGROUND UTILITY INFORMATION UNOBTAINABLE FROM ABOVE GROUND OBSERVATION, UTILITY INFORMATION PROVIDED BY OTHERS AND/OR ANY CHANGES AFTER THE DATE OF THE FIELD SURVEY.
 - LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. WHEREAS ADDITIONAL BURNED UTILITIES/STRUCTURES MAY BE IDENTIFIED, NO LOCATIONS WERE MADE DURING THE PROGRESS OF PREPARING THIS SURVEY TO LOCATE BURNED UTILITIES OF STRUCTURES.
 - BEFORE ANY EXCAVATIONS ARE BEGUN, THE UNDERGROUND UTILITIES LOCATION SERVICE AT 1-800-372-1100 SHALL BE CONTACTED AT LEAST 4 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES, IN ACCORDANCE WITH APPLICABLE LAWS, RULES AND REGULATIONS.



PLAN OF SURVEY & TOPOGRAPHY

THE GREENS

PLATE 148, BLOCK 14801, LOT 12

MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246S04335700

ADAM R. GRANT

DATE: 03/11/2024

PREPARED BY: CONSULTING ENGINEER SERVICES
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