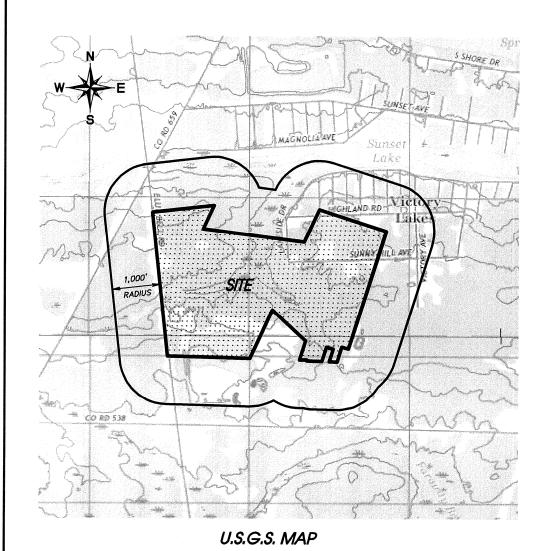
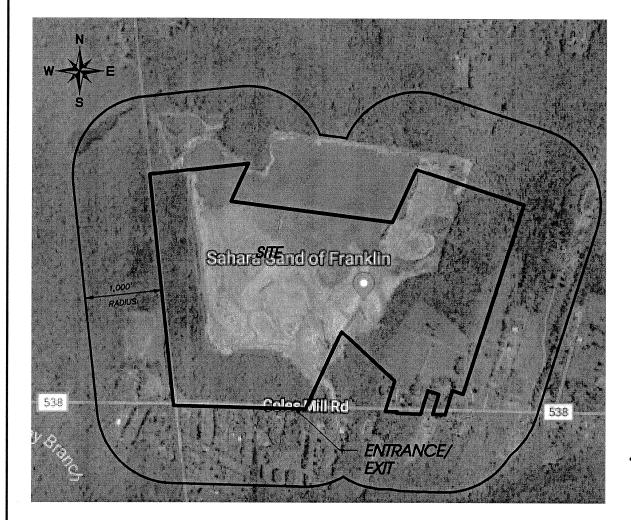
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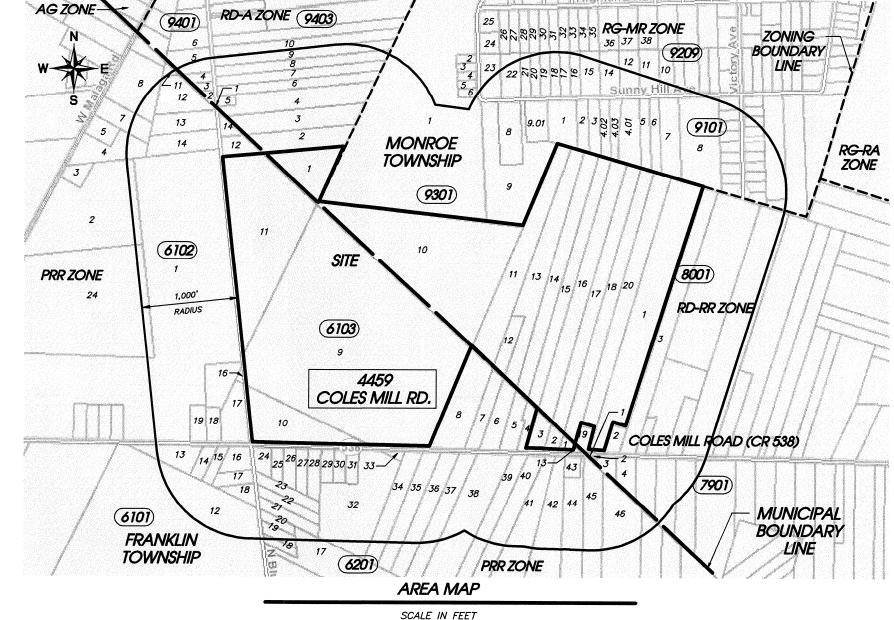
## PRELIMINARY AND FINAL MAJOR SITE PLAN MINING PERMIT PLANS

BLOCK 6103 LOTS 1, 2, 3, 9, 10 & 11 FRANKLIN TOWNSHIP and BLOCK 9403 LOT 1, BLOCK 9301 LOTS 10 THROUGH 18 & 20, and BLOCK 8001 LOT 1 MONROE *TOWNSHIP* GLOUCESTER COUNTY, NEW JERSEY





LOCATION MAP/TRAFFIC CIRCULATION MAP -----



ZONING: FRANKLIN TO PRR - PINELANDS RESIDE		DISTRICT	ZONING: MONROE TOWNSHOP RD-RR & RD-A - PINELANDS RESIDENTIAL RURAL DISTRICT				
MINIMUM STANDARDS	RESIDENTIAL	MINING OPERATION	PROVIDED	MINIMUM STANDARDS	RESIDENTIAL	MINING OPERATION	PROVIDED
LOT AREA	3.4 ACRES	AREA NECESSARY TO MEET WATER QUALITY STANDARDS	257.2835 ACRES	LOT AREA	5 ACRES	AREA NECESSARY TO MEET WATER QUALITY STANDARDS	257.2835 AC
LOT FRONTAGE	125 FT.		4,722 FT.	MAX. LOT COVERAGE	40%		< 1%
MAX. IMPERVIOUS COVERAGE	15%		< 1%	LOT FRONTAGE	200 FT.		4,722 FT.
SIDE YARDS (EACH)	20 FT.	200 FT.	> 200 FT.	LOT WIDTH	200 FT.		> 200 FT.
REAR YARD	50 FT.	200 FT.	> 200 FT.	FRONT YARD	75 FT.	200 FT.	> 200 FT.
FRONT YARD	50 FT.	200 FT.	> 200 FT.	REAR YARD	50 FT.	200 FT.	200 FT.
MINOR ACCESSORY STRUCTURES		200 FT.	200 FT.	SIDE YARDS (EACH)	40 FT.	200 FT.	200 FT.

CERTIFIED LIST OF OWNERS WITHIN 1,000°

CALANDRA, FREDERICK J. 2232 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094

500 FT.

#### WAIVERS REQUESTED FROM:

- 1. NOT PROVIDING TOPOGRAPHY THAT EXTENDS 300' BEYOND DEVELOPMENT. A 200' WIDE TRACT BUFFER IS PROVIDED.
- 3. NOT SHOWING UTILITIES ON THE SITE (I.E. ELECTRIC).
- 5. A DRAINAGE NARRATIVE IS PROVIDED IN LIEU OF PROVIDING A STORMWATER
- 6. NOT PROVIDING A STORMWATER PLAN IN A CAD FILE FORMAT 15 OR HIGHER. 7. NOT PROVIDING A STORMWATER MAINTENANCE PLAN.

#### GENERAL NOTES:

- FAIKLESS HILLS, PA 19030-4313
  OWNER: SAHARA SAND, INC.
  355 NEWBOLD ROAD
  FAIRLESS HILLS, PA 19030-4313
  APPLICANT: SAHARA SANDS OF FRANKLIN, INC.
  355 NEWBOLD ROAD
  FAIRLESS HILLS, PA 19030-4313
- ZONING DISTRICT: PRR-PINELANDS RURAL RESIDENTIAL DISTRICT (BLOCK 6103 LOTS 1, 3, 9, 10 & 11); RD-RR (BLOCK 9301 LOTS 10-18 & 20. BLOCK 8001 LOT 1) AND RD-A (BLOCK 9403 LOT 1).

#### MAP REFERENCES:

- SURVEY MAP OF TAX LOTS 9, 10 & 11 BLOCK 6103 FRANKLIN TOWNSHIP AND TAX LOT 1 BLOCK 9403 & TAX LOTS 10, 11, 12 & 13 BLOCK 9301 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY, PREPARED BY GRAVATT CONSULTING GROUP, DATED OCTOBER 3, 2018.

- 6. MINING PERMIT PLANS FOR SAHARA SAND OF FRANKLIN, INC. FRANKLIN TOWNSHIP, TAX BLOCK 6103, SHEET 61, LOTS 9, 10 & 11 MONROE TOWNSHIF TAX BLOCK 9301, PLATE 93, LOTS 10, 11, 12 & 13, GLOUCESTER COUNTY, NEW JERSEY, PREPARED BY ALL COUNTY INC. & SITE WORKS CONSULTANTS, INC., DATED 11/9/2009, LAST REVISED 6/29/2009.

  JANUARY 30, 2012 LAST REVISED APRIL 27, 2012.
- 7. SURVEY MAP OF TAX LOT 3 BLOCK 6103 FRANKLIN TOWNSHIP AND TAX LOT 16 BLOCK 9301 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY, PREPARED BY GCG DATED JANUARY 30, 2019.
- 8. MAP OF SURVEY TAX LOT 1, BLOCK 6103, FRANKLIN TOWNSHIP & TAX LOTS 17 & 18 BLOCK 9301 MONROE TOWNSHIP, GLOUCESTER COUNTY, NJ, PREPARED BY GCG, DATED 4/30/2020.
- 9. MAP OF SURVEY OF TAX LOT 1, BLOCK 8001 & TAX LOT 20 BLOCK 9301, MONROE TOWNSHIP, GLOUCESTER COUNTY, NJ, PREPARED BY GCG, DATED 4/3/2020.
- 10. MAP OF SURVEY FOR SAHARA SAND OF FRANKLIN, INC. MINING PERMIT PLANS, BLOCK 6103 LOTS 1, 3, 9, 10 &11 FRANKLIN TOWNSHIP AND BLOCK 9403 LOT 1 BLOCK 9301 LOTS 10 THROUGH 18 & 20, AND BLOCK 8001 LOT 1 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JÉRSEY, PREPARED BY GCG, DATED 12/20/2018, AND SIGNED 10/9/2020.

I CONSENT TO THE FILING OF THIS SITE PLAN	TO THE PLANNING BOARDS
OF MONROE AND FRANKLIN TOWNSHIPS.	

SIL-KEMP CONCRETE, INC.

SAHARA SAND, INC

SAHARA SAND OF FRANKLIN, INC.

THE SITE FOR WHICH THE SITE PLAN APPROVAL WAS GRANTED BY THE FRANKLIN TOWNSHIP PLANNING BOARD VIA APPROVAL RESOLUTION \_\_\_\_\_\_SHALL BE MAINTAINED AS APPROVED.

#### APPROVED AS A MAJOR SITE PLAN BY THE FRANKLIN TOWNSHIP PLANNING BOARD

DATE	CHAIRMAN	Maria de la composição de
ATTEST	SECRETARY	Moreov v a v gara su access

THE SITE FOR WHICH THE SITE PLAN APPROVAL WAS GRANTED BY THE MONROE TOWNSHIP PLANNING BOARD VIA APPROVAL RESOLUTION \_\_\_\_\_

#### APPROVED AS A MAJOR SITE PLAN BY THE MONROE TOWNSHIP PLANNING BOARD

DATE	CHAIRMAN	
ATTEST	SECRETARY	
DATE	ENGINEER	

SUBJECT PROPERTIES - FRANKLIN TOWNSHIP	ADJOINING PROPERTIES — FRANKLIN TOWNSHIP	ADJOINING PROPERTIES — FRANKLIN TOWNSHIP	SUBJECT PROPERTIES - MONROE TOWNSHIP	ADJOINING PROPERTIES - MONROE TOWNSHIP	ADJOINING PROPERTIES - MONROE TOWNSHIP
BLOCK LOT OWNER	BLOCK LOT OWNER	BLOCK LOT OWNER	BLOCK LOT OWNER	BLOCK LOT OWNER	BLOCK LOT OWNER
6102 16 SIL-KEMP CONCRETE, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA 19030	6102 12 LACY, MALESSIA D. 761 NORTH TUCKAHOE ROAD WILLIAMSTOWN, NJ 08094	6201 25 MORA, CHERYL L. 4346 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	8001 1 SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030	8001 6.02 THIES, JEFFREY & CAILE 1194 DUTCH MILL ROAD NEWFIELD. NJ 08344	9209 10 SCHIAVONE, DOMINICK & PATRICIA 2426 SUNNYHILL AVENUE
6103 1 STADTLER, GAIL J. 1497 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6102 13 CUGINI, EDWARD 200 NORTH CENTRAL AVENUE LANDISVILLE, NJ 08326	6201 26 TERREGINO, NICK JR. & LISA 4356 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301 10 SIL-KEMP CONCRETE, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030	9101 1 WHALEN, TRACEY 2329 SUNNYHILL AVENUE WILLIAMSTOWN. NJ 08094	WILLIAMSTOWN, NJ 08094 9209 11 PATTERSON, EDWARD J. 2410 SUNNYHILL AVENUE
6103 2 STADTLER, GAIL J. 1497 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6102 14 HERRSCHAFT, TIMOTHY & DONNA 3897 NORTH BLUE BELL ROAD	6201 27 MILLER, DEBORAH B. (A.K.A.) RUTECKI 4372 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301 11 SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030	9101 2 GEISEN, MICHAEL HENRY JR. 2341 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094	WILLIAMSTOWN, NJ 08094 9209 12 JOHNSON, CHRISTOPHER B. 2388 SUNNYHILL AVENUE
	FRANKLINVILLE, NJ 08322	0004 00 5151010 11510104	9301 12 SALIADA SAND INC	•	WILLIAMSTOWN. NJ 08094

500 FT.

SOUDI, AIMEN & TRABOULSY, FATIMA 1429 COLES MILL ROAD WILLIAMSTOWN, NJ 08094

SETBACK FROM ADJACENT DWELLINGS

		WILLIAMSTOWN, NJ 08094	0702	• •	3897 NORTH BLUE BELL ROAD			WILLIAMSTOWN, NJ 08094			FAIRLESS HILLS, PA, 19030
6103	3	SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA 19030	6102	17	FRANKLINVILLE, NJ 08322 GRAF, JAMES 7 SOUTH NEW ARDMORE AVENUE BROOMALL, PA 19008	6201	28	FLEMING ANTHONY 4384 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	12	SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
6103	9	SIL-KEMP CONCRETE, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA 19030	6102	18	BILLINGSLEY, CHERYL A. 4279 COLES MILL ROAD FRANKLINVILLE, NJ 08322	6201	29	BURGESE, DOMINIC JR. 4398 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	13	SIL-KEMP CONCRETE, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
6103	10	SIL-KEMP CONCRETE, INC. 355 NEWBOLD ROAD	6102	19	CRIM, ROBERT 4261 COLES MILL ROAD FRANKLINVILLE, NJ 08322	6201	30	MIKLEA, JOHN N. & MARGIE L. 4410 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	14	SAHARA SAND OF FRANKLIN, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
6103	11	FAIRLESS HILLS, PA 19030  SIL-KEMP CONCRETE, INC.  PLARRY SILVI	6103	4	GREEN, ERVIN H. & GERALDINE 4583 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6201	31	CARLSON, KEVIN J. & SAFONOF, FRED 4422 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	15	SAHARA SAND OF FRANKLIN, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
		355 NEWBOLD ROAD FAIRLESS HILLS, PA 19030	6103	5	GREEN, ERVIN H. & GERALDINE 4583 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6201	32	CRAIG, JAMES & NORA 4448 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	16	SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
AD BLOCK	JOINING I	PROPERTIES – FRANKLIN TOWNSHIP OWNER	6103	6	GREEN, ERVIN H. 4583 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6201	33	CRAIG, JAMES & NORA 4448 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	17	STADTLER, GAIL J. 1497 COLES MILL ROAD WILLIAMSTOWN, NJ 08094
6101	12	STATE OF NJ DEP P.O. BOX 409 TRENTON, NJ 08625	6103	7	GREEN, ERVIN H. 4583 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6201	34	STREICH, CHARLES J. & FLORENCE MARLE 4494 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	18	STADTLER, GAIL 1497 COLES MILL ROAD WILLIAMSTOWN, NJ 08094
6101	13	PAR THREE MANAGEMENT LLC P.O. BOX 445 MALAGA, NJ 08328	6103	8	GREEN, ERVIN H. & GERALDINE GALLON 4583 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	6201	35	KOVLAK, VINCENT III 4510 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9301	20	SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
6101	14	ROAGERS, JEFFREY & JACQUELINE 4272 COLES MILL ROAD FRANKLINVILLE, NJ 08343	6103	12	BROOKS, SARAH 413 EAST HIGH STREET PHILADELPHIA, PA 19144	6201	36	KOVLAK, VINCENT M. III 4510 COLES MILL ROAD WILLIAMSTOWN, NJ 08094	9403	1	SAHARA SAND, INC. 355 NEWBOLD ROAD FAIRLESS HILLS, PA, 19030
6101	15	BEAULIEU. JEAN L. & THERESA R. 4284 COLES MILL ROAD FRANKLINVILLE NJ, 08322	6103	13	WALKER, MATTHEW 1493 COLES MILL ROAD WILLIAMSTOWN, NJ 08904	6201	37	GERKEY, CARROLLE E. & EVA M. 14 ABBETT AVENUE VOORHEES, NJ 08043	-		PROPERTIES - MONROE TOWNSHIP
		,	6107		DUNE 10001451 4 00 4 THEFT			·	BLOCK	LOT	OWNFR

CARR, JOSEPH G. 4330 COLES MILL ROAD FRANKLINVILLE, NJ 08322

VOORHEES, NJ 08043 MILLIAMSTOWN, NJ 08904 BLOCK LOT OWNER BULL, MICHAEL A. SR. & TANYA A. 2484 NORTH BLUE BELL ROAD WILLIAMSTOWN, NJ 08904 7901 MANFREDI, RALPH JR. 10 THERESA LANE WILLIAMSTOWN, NJ 08094 VENADE, JOHN & FILOMENA 3582 NORTH BLUE BELL ROAD FRANKLINVILLE, NJ 08322 GREEN, LINDA 10 STEAD COURT VOORHEES, NJ 08043 DIXON, SANDRA & ETALS 5634 RIDGEWOOD STREET PHILADELPHIA, PA 19143 AIKEN, FREDERICK WILLIAM & MICHELE 1466 COLES MILL ROAD WILLIAMSTOWN, NJ 08094 YOUNG, DONALD P. & LINDA 3496 NORTH BLUE BELL ROAD FRANKLINVILLE, NJ 08322 PINO, GRACIELA DIAZ & THOMPSON, 4632 COLES MILL ROAD WILLIAMSTOWN, NJ 08094 NEW JERSEY DEP 401 EAST STATE STREET TRENTON, NJ 08625 MENFREDI, RALPH JR. 10 THERESA LANE WILLIAMSTOWN, NJ 08094 ZITO, JOSEPH A. JR. & IOLAND, 3546 NORTH BLUE BELL ROAD FRANKLINVILLE, NJ 08322

GRIZE, EDWARD L. JR. & DEBORAH 1 4042 SOUTH BLACK HORSE PIKE WLLIAMSTOWN, NJ 08094

REID, ROBERT P. JR. & C. ANN 2363 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 REED, DIANNA L/E CHAS. & LINDA REED 193 SANDRA WAY FRANKLINVILLE, NJ 08322 McDOWELL, RICHARD J. & KATHERINE 2385 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 REED, DIANNA 193 SANDRA WAY FRANKLINVILLE, NJ 08322 WATTS, ROBERT B. & VIRGINIA 1 2407 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 MITCHELL, RICHARD JR. 2308 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 HUFF, JOHN E. & BARBARA A 2415 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 MITCHELL, RICHARD JR. 2308 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 MARELLA, CHRISTINE E. & PIAZZA, MICHAEL 2254 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 VIOLA, ANTHONY & THERESA K. 1619 LAKESIDE DRIVE WILLIAMSTOWN, NJ 08094 FERGUSON, ROBERT & DIANE 1737 HIGHLAND ROAD WLLIAMSTOWN, NJ 08094 VIGNOLA, CAROL LYNNE & DANIEL PAUL 181 PARK STREET GYPSUM CO, 81637 RYAN, TERRI 1671 VICTORY AVENUE WILLIAMSTOWN, NJ 08094

50 FT.

200 FT.

DeYOUNG, ROBERT & JUDITH M. 1821 HIGHLAND ROAD WILLIAMSTOWN, NJ 08094

LIGAMERI, ALBERT M. & PHILOMENA 1911 HIGHLAND AVENUE ROAD WILLIAMSTOWN, NJ 08094

FLYNN, DANIEL 1901 HIGHLAND AVENUE WILLIAMSTOWN, NJ 08094

SELF, JEFFREY K. 1921 HIGHLAND ROAD WILLIAMSTOWN, NJ 08094

200 FT.

BLOCK LOT OWNER

MATTIA, ANTHONY & MARGARETTA 2247 SUNNYHILL AVENUE WILLIAMSTOWN, NJ 08094 STADTLER, GAIL 1497 COLES MILL ROAD WILLIAMSTOWN, NJ 0809-LACY, MALESSIA 761 NORTH TUCKAHOE ROAD WILLIAMSTOWN, NJ 08094 WADE, ANDREW L. 382 JACKSON ROAD ATCO, NJ 08004 WADE, ANDREW L. 382 JACKSON ROAD WATERFORD TOWNSHIP, NJ 08004 BROOKS, SARAH 413 EAST HIGH STREET PHILADELPHIA, PA 19144 BULL, MICHAEL A. SR. & TANYA A. 2484 BLUEBELL ROAD WILLIAMSTOWN, NJ 08094 FITZGERALD, BRUCE RENE 3337 WASHINGTON COUR FRANKLIN, BUFORD JR. 2452 BLUE BELL ROAD WILLIAMSTOWN, NJ 08094 MAZZAGATTI, ANTHONY 2440 BLUE BELL ROAD WLLIAMSTOWN, NJ 08094 9403 8

BLANEY, ELIZABETH A. & WILLIAM G. 2123 DUNE DRIVE, SUITE 11 AVALON, NJ 08202

ADJOINING PROPERTIES - MONROE TOWNSHIP

BARRACLIFF, ANDREW W. & MITCHELL, RI 2007 HIGHLAND ROAD WILLIAMSTOWN, NJ 08094

STATE HIGHWAYS
ATTN: HIGHWAY INSPECTOR
NJ DEPARTMENT OF TRANSPORTATION
1 EXECUTIVE CAMPUS
ROUTE 70 WEST
CHERRY HILL, NJ 08002
856-486-6600 MONROE MUNICIPAL UTILITIES AUTHORITY 372 MAIN STREET SOUTH WILLIAMSTOWN, NJ 08094 856-629-1444 SOUTH JERSEY GAS CORPORATE HEADQUARTERS 1 SOUTH JERSEY PLAZA FOLSOM, NJ 08037 1-888-766-9900 ATLANTIC CITY ELECTRIC JOSEPH B. RIDING, MANAGER 5100 HARDING HICHWAY MAYS LANDING, NJ 08330 1–800–642–3780 COMCAST CABLE COMPANY 301 SOUTH MAIN ROAD VINELAND, NJ 08360 ATTN: CONSTRUCTION DEPARTMENT 1-800-COMCAST VERIZON NEW JERSEY 9 GATES AVENUE MONTCLAIR, NJ 07042 1–800–VERIZON

UTILITIES - MONROE TOWNSHIP

UTILITIES - MONROE TOWNSHIP UTILITI<u>ES - FRANKLIN TOWNS</u>HIF 1 CABLE LANE SICKLERVILLE, NJ 08081 PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER — CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 07101 NJ STATE D.O.T. PLANNING DIVISION P.O. BOX 600 TRENTON, NJ 08625–0600 GLOUCESTER COUNTY D.P.W. PLANNING DIVISION ROUTE 47 DELSEA DRIVE CLAYTON, NJ 08312

SHT. No.	TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS PLAN
3	OVERALL OPERATIONS PLAN
4-7	OPERATIONS PLAN
8	SOIL EROSION & SEDIMENT CONTROL PLAI
9	RECLAMATION PLAN
10	NOTES & DETAILS

7.	12/9/20	REVISED PER FRANKLIN/MONROE REVIEW DATED 11/2020	MJD	Γ
6.	10/13/20	REVISED PER GCPB LETTER DATED 2/18/20	MJD	r
		ADDED LOTS 17, 18, 20 BLOCK 9301 & LOT 1 BLOCK 8001	MJD	ľ
4.	12/10/19	FRANKLIN TOWNSHIP RESOLUTION OF APPROVAL	MJD	Γ
		REMOVED LOT 3 BLOCK 6103	MJD	ľ
2.	5/22/19	REVISED CERTIFIED OWNERS LIST	MJD	Γ
1.	2/12/19	ADDED BLOCK 6103 LOT 3 AND BLOCK 9301 LOT 16	MJD	Ī
No	DATE	PEVISION	DV	_

BRUCE A. JACOBS

N.J. Professional Engineer No. 37489

Trople 12/11/2020

SAHARA SAND OF FRANKLIN, INC. MINING PERMIT PLANS LOTS 1, 2, 3, 9, 10 & 11 FRANKLIN TOWNSHIP and BLOCK 9403 LOT 1, BLOCK 9301 LOTS 10 THROUGH 18 & 20, and BLOCK 8001 LOT 1 MONROE

**GRAVATT** CONSULTING GROUP 414 Lacey Road, Forked River, NJ 08731 Tel. 609 . 693 . 6127 www.gravattconsulting.com Certificate of Authorization No. 24GA27925900

TITLE SHEET

SCALE: AS SHOWN DRAWN BY: HM/MJD CHECKED BY: JA HEET NO.  $\it 1$  of  $\it 10$ PROJECT NUMBER 9973

6101

6102

6102

6102

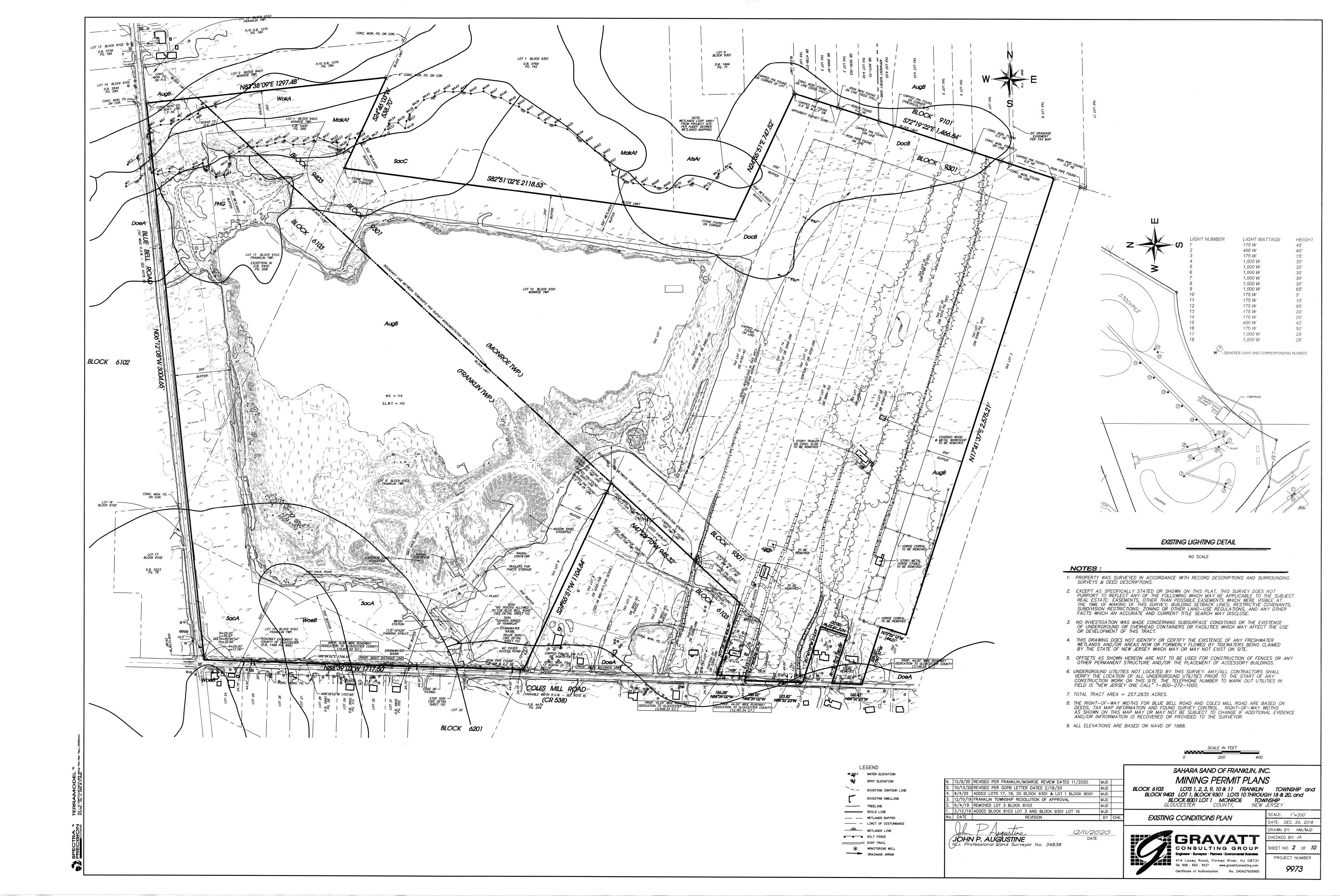
KHALIL, ANNELIESE & ZAHRA, VICENTE 4306 COLES MILL ROAD FRANKLINVILLE, NJ 08322

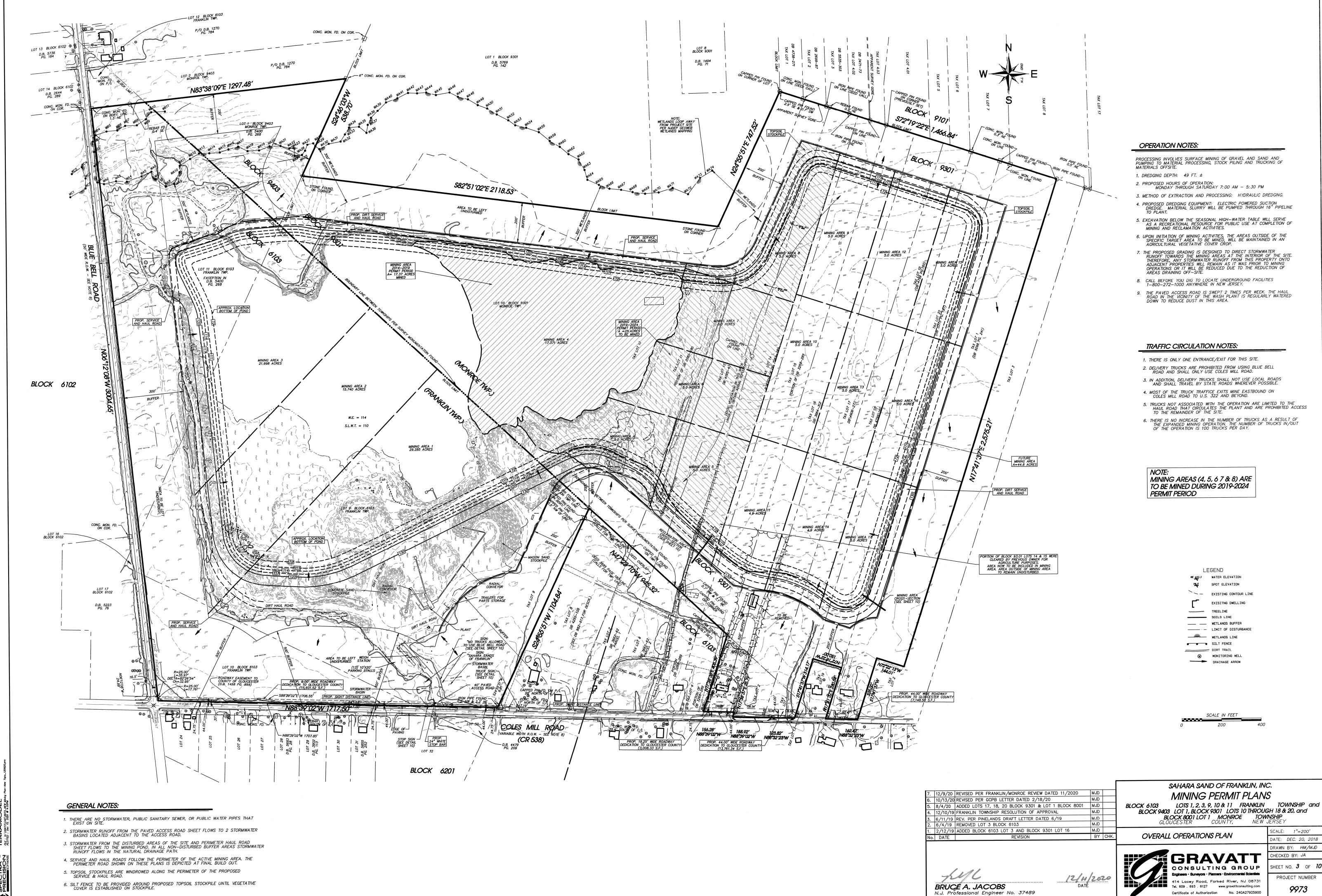
KUMMER, CHARLES J. & EVELYN G. 3551 NORTH BLUE BELL ROAD FRANKLINVILLE, NJO8322

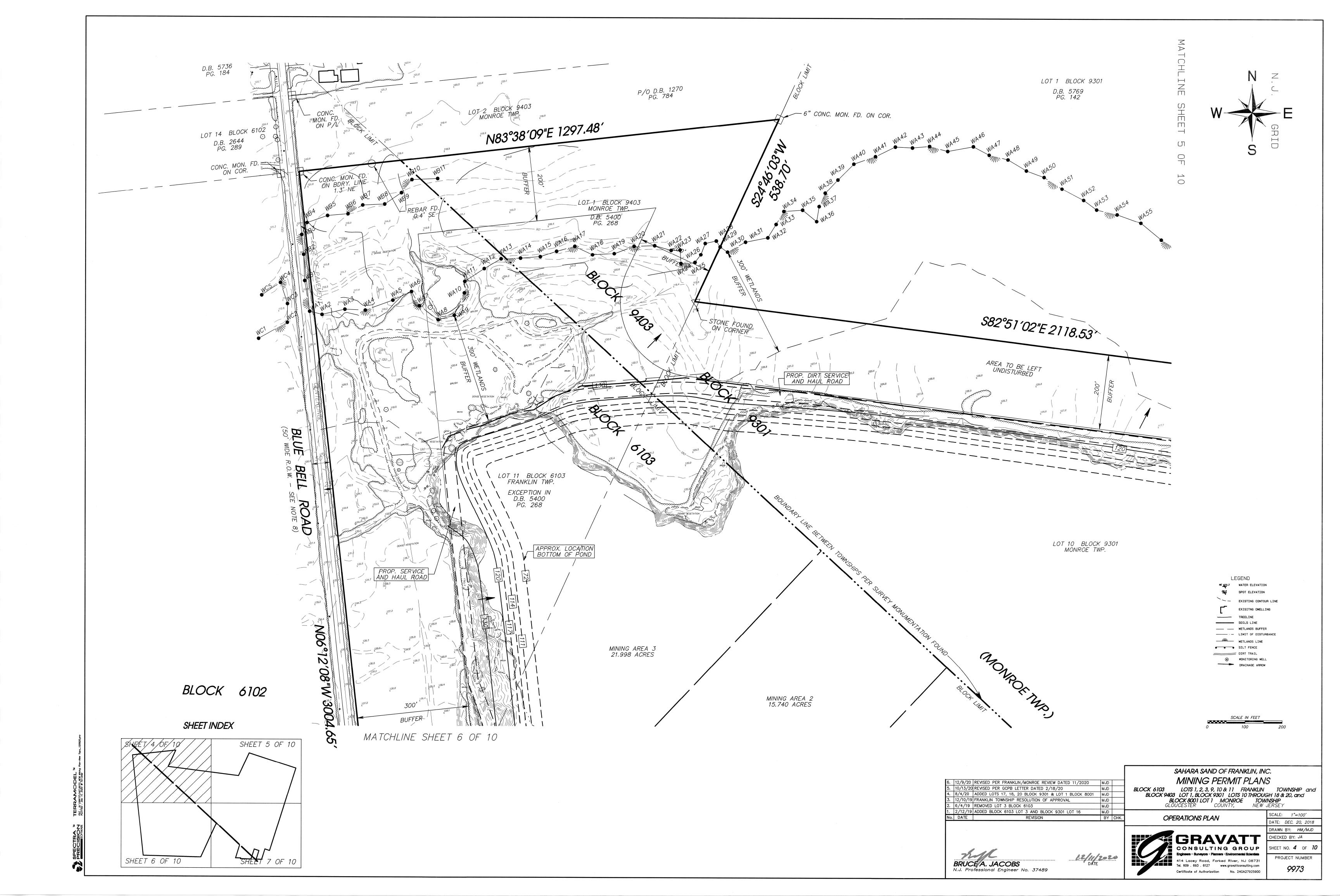
.O. BOX 093 RENTON, NJ 08625

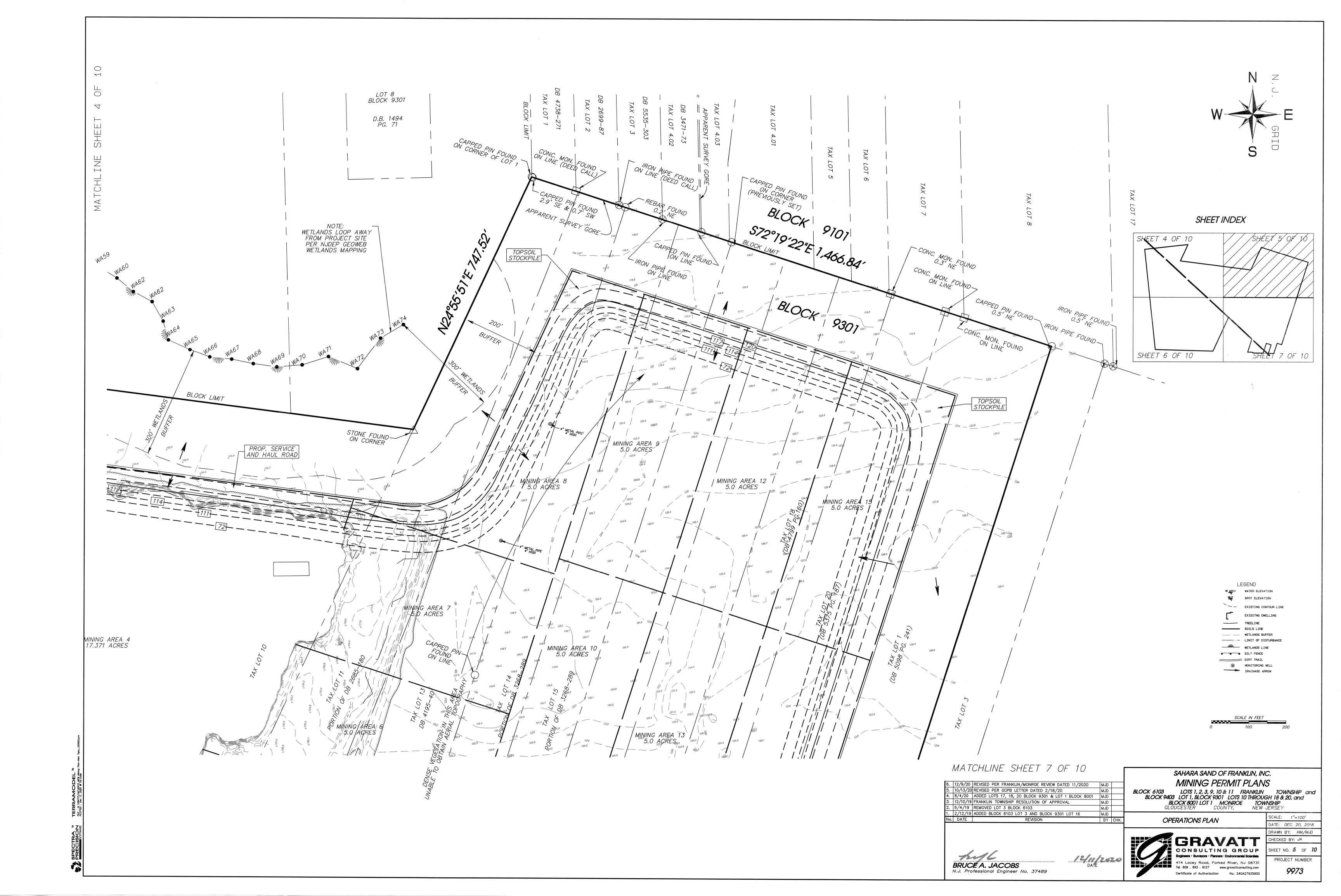
RENTON, NJ 08625

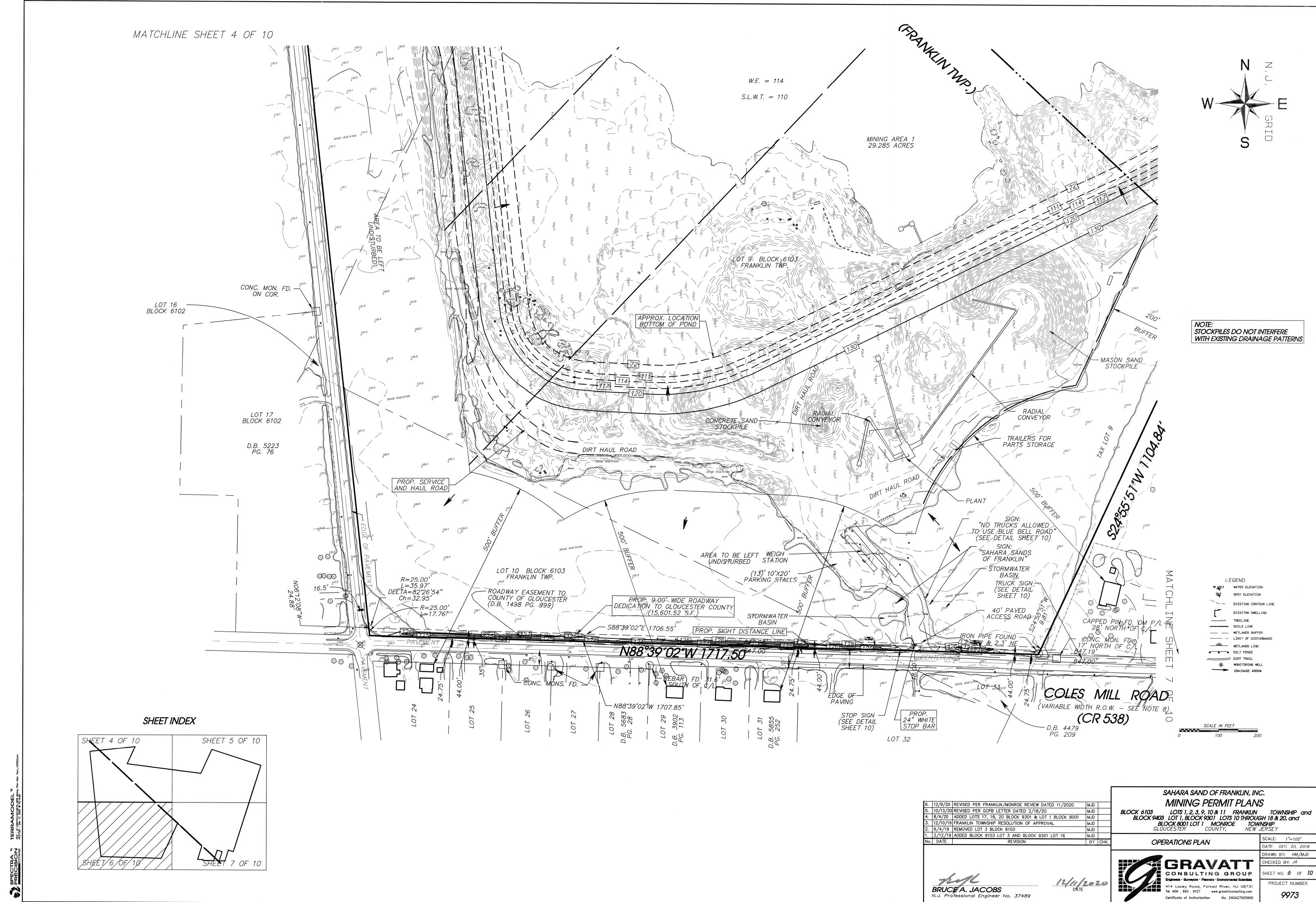
BURNS, SUSAN M. 4240 WEST MALAGA ROAL FRANKLINVILLE, NJ 08322

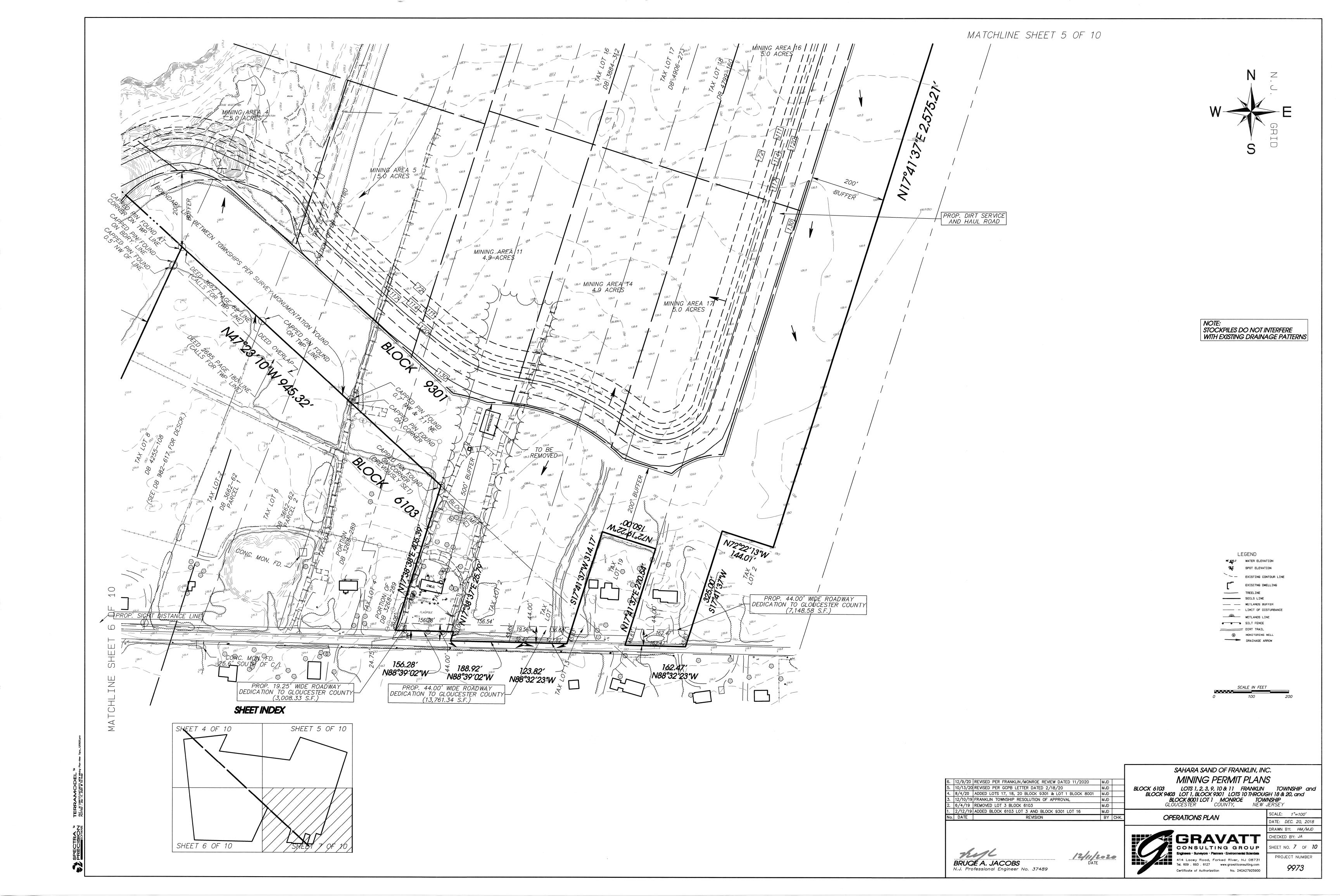


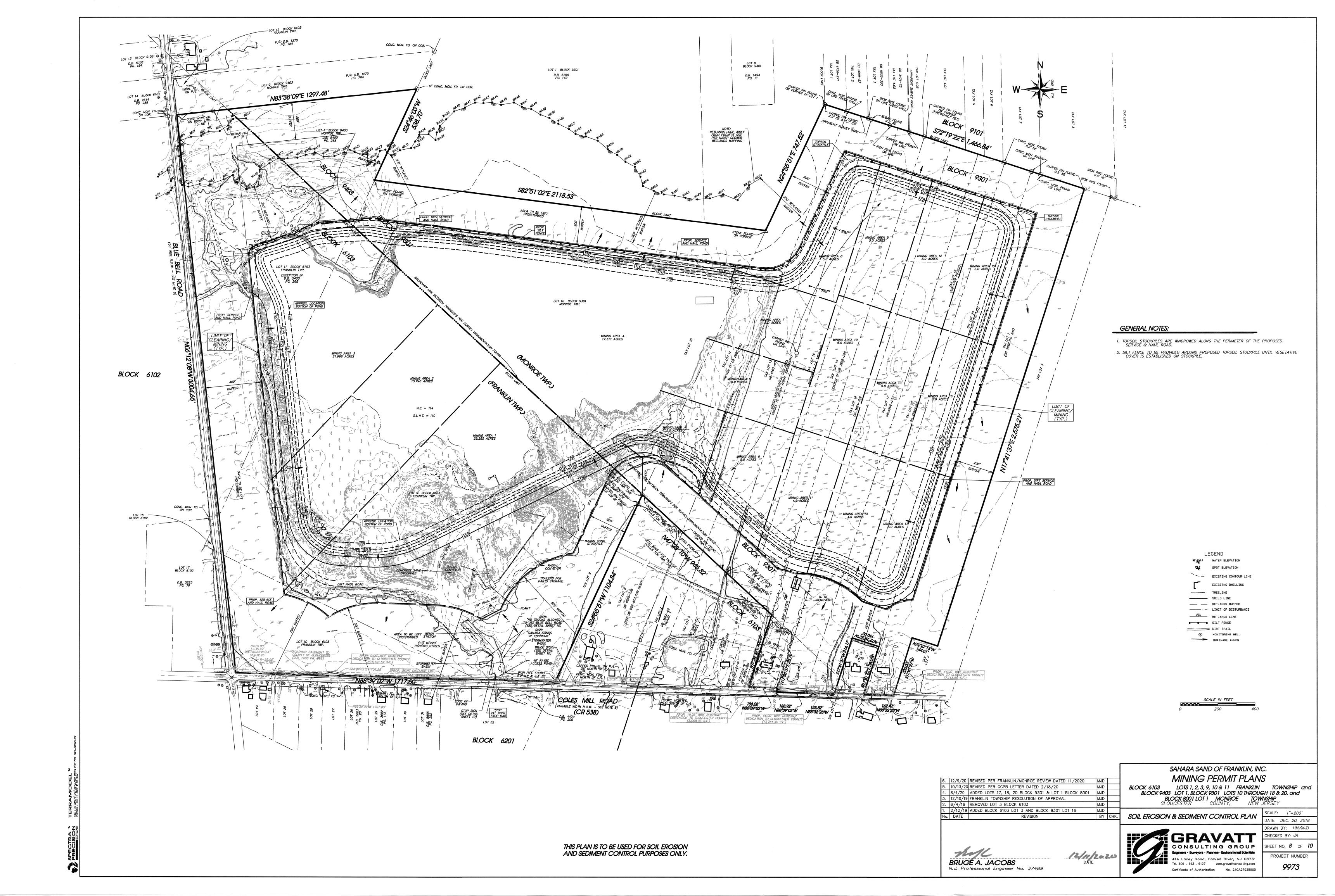


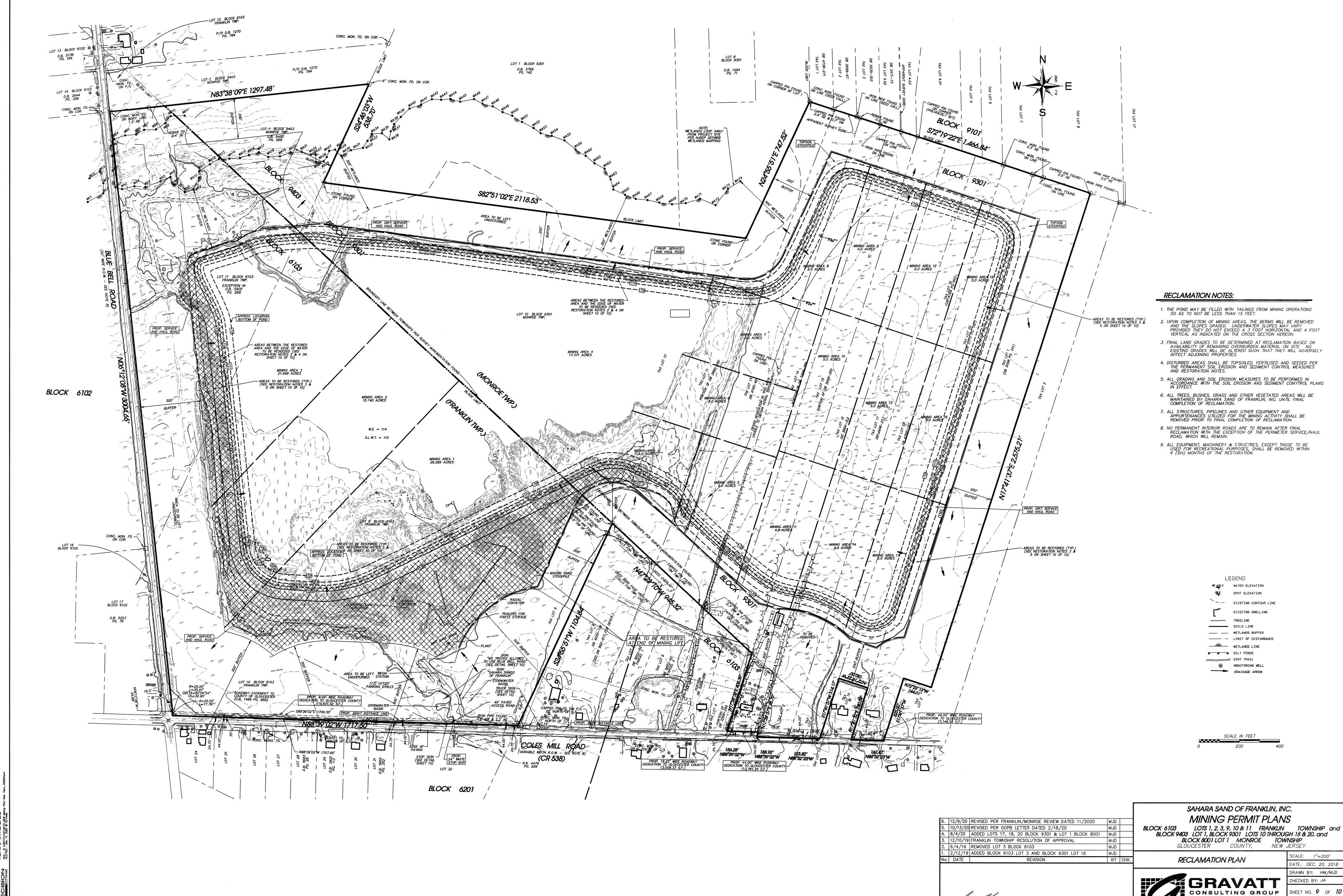












The second secon

/2///2020 DATE

BRUCE A. JACOBS

N.J. Professional Engineer No. 37489

PROJECT NUMBER

414 Lacey Road, Forked River, NJ 08731

Tel. 609 . 693 . 6127 www.gravattconsulting.com

Certificate of Authorization No. 24GA27925900

SPECTRA TERRAN

## **CONSTRUCTION NARRATIVE:** PHASE 1 - MINING AREA 1 PHASE 2 - MINING AREA 2 PASE 3 - MINING AREA 3 PHASE 4 - MINING AREA 4 WHILE EXCAVATION BEGINS ON PHASE 4, IMMEDIATE RATE OF EXCAVATION IS APPROXIMATELY 4 ACRES/YEAR. PHASE 5 - MINING AREA 5 RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR. PHASE 6 - MINING AREA 6 WHILE EXCAVATION BEGINS ON PHASE 6, IMMEDIATE RESTORATION SHALL BEGIN OF PHASE 5. EXCAVATION IS TO CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58 FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR PHASE 7 - MINING AREA 7 PHASE 8 - MINING AREA 8

NOTE: PRIOR TO PHASE I, MAINING AREA I, THE EXISTING QUARRY AREA IS TO BE RESTORED ACCORDING TO PLAN SPECIFICATION.

BEGINNING WITH MINING AREA 1 DESIGNATED ON THE SITE PLAN, EXCAVATION WITH A 7 CUBIC YARD LODER WILL BEGIN IN THE NORTHERLY SECTION AND CONTINUE IN A SOUTHERLY DIRECTION. EXCAVATION WILL PROCEED IN SUCH A MANNER THAN NO PIT FACE SHALL BE HIGHER THAN 15 FEET AT ANY TIME DURING THE DAILY MINING OPERATION. THI SSECTION WILL BE MINED FROM AN AVERAGE ELEVATON OF 136,00 M.S.L. TO AN ELEVATION OF 110.00 M.S.L. AT THIS TIME, ALL INTERIM SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE IN PLACE. TIME FOR COMPLETION IS APPROXIMATELY 5 YEARS. SINCE THIS AREA INCLUDES PROCESSING AREA, IT WILL BE RESTORED AT THE END OF MINING LIFE.

EXCAVATION WILL CONTINUE IN A WESTERLY DIRECTION MINING ARAE 2 WILL BE EXCAVATED IN A WESTERLY DIRECTION
TOWARDS MINING AREA 2. AT THE END OF THIS PHASE
(APPROXIMATELY 6 YEARS), THE LEVELING PLATEAU WILL BE MINED
FROM AN ELEVATION OF 136.00 M.S.L. TO AN ELEVATION OF 72.00

WHILE EXCAVATION COMMENCES ON PHASE 3, RESTORATION WHILE EXCAVATION COMMENCES ON PHASE 3, RESTORATION SHALL IMMEDIATELY BEGIN OF PHASE 2. EXCAVATION SHALL CONTINUE IN A NORTHEASTERLY DIRECTION TOWARDS PHASE 4. THE PLATEAU WILL BE EXCAVATED FROM AN AVERAGE ELEVATION OF 136.00 M.S.L. TO A DEPTH OF 72 M.S.L. THE TIME FRAME FOR PHASE 3 IS APPROXIMATELY 6 YEARS.

WHILE EXCAVATION BEGINS ON PHASE 4, IMMEDIATE
RESTORATION SHALL BEGIN ON PHASE 3. EXCAVATION IS TO
CONTINUE EASTERLYTOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 6 YEARS.

WHILE EXCAVATION BEGINS ON PHASE 5, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 4. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 3 YEARS.

WHILE EXCAVATION BEGINS ON PHASE 7, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 6. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR.
RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR.

WHILE EXCAVATION BEGINS ON PHASE 8, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 7. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR.

PHASE 9 - MINING AREA 9 WHILE EXCAVATION BEGINS ON PHASE 9, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 8. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR.
RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR.

WHILE EXCAVATION BEGINS ON PHASE 10, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 9. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR.
RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR.

PHASE 11 - MINING AREA 11

WHILE EXCAVATION BEGINS ON PHASE 11, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 10. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR PHASE 12 - MINING AREA 12

WHILE EXCAVATION BEGINS ON PHASE 12. IMMEDIATE WHILL EXCAVATION BEGINS ON PHASE 12, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 11. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR. PHASE 13 - MINING AREA 13

WHILE EXCAVATION BEGINS ON PHASE 13, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 12. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR.
PASTE OF TYPICAL TIME APPROXIMATELY 1. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR. PHASE 14 - MINING AREA 14

WHILE EXCAVATION BEGINS ON PHASE 14, IMMEDIATE WHILE EXCAVATION BEGINS ON PHASE 14, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 13. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR. PHASE 15 - MINING AREA 15

WHILE EXCAVATION BEGINS ON PHASE 15, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 14. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR.

PHASE 16 - MINING AREA 16

WHILE EXCAVATION BEGINS ON PHASE 16, IMMEDIATE
RESTORATION SHALL BEGIN OF PHASE 15. EXCAVATION IS TO
CONTINUE EASTERLY TOWARDS THE EASTERLY BUFFER LINE. IN
THIS PHASE, THE PLATEAU IS TO BE LOWERED APPROXIMATELY 58
FEET. THE TIME FRAME FOR THIS PHASE IS APPROXIMATELY 1 YEAR. RATE OF EXCAVATION IS APPROXIMATELY 5 ACRES/YEAR PHASE 17 - MINING AREA 17

PHASE 17 IS TO BE IMMEDIATELY RESTORED. ALL STRUCTURES AND PIPING TO BE REMOVED FROM THE SITE; 2 YEARS MAXIMUM.

#### PROCEDURE - BUFFER RESTORATION.

1. RESPREAD TOPSOIL
2. PLANT CLUSTERED AREAS
3. SEED AND FERTILIZE
4. AFTER GROUND COVER IS ESTABLISHED PLANT PITCH PINES.

#### TEMPORARY SEEDING

SEED MIX: ANNUAL RYE GRASS SHALL BE APPLIED AT A RATE OF 40 LBS./1,000 S.F.

FERTILIZER: 10-20-10 SHALL BE APPLIED AT A RATE OF 11 LBS./1,000 S.F. LIME: LIME SHALL BE APPLIED AT A RATE OF 11 LBS./1,000 S.F.

MULCH SHALL BE APPLIED AT A RATE OF 90 LBS./1,000 S.F. AND ANCHORED WITH LIQUID BINDERS.

#### NOTES:

SINCE THE ENTIRE PARCEL HAS BEEN CLEARED FOR "FARMING" AN AGRICULTURAL COVER CROP WILL BE MAINTAINED AT ALL TIMES TO PROVIDE VEGETATIVE

2. UPON INITIATION OF MINING ACTIVITIES, THE AREAS OUTSIDE OF THE SPECIFIC TARGET AREA TO BE MINED WILL BE MAINTAINED IN AN AGRICULTURAL VEGETATIVE

THE STORMWATER BASINS WILL BE CHECKED AND MAINTAINED AFTER EVERY STORM EVENT.

WOODED AREA 1:
CANOPY TREES: PIG NUT HICKORY — CARYA GLABRA
UNDERSTORY TREES: BLUEBERRY LOWBUSH — VACCINIUM VACILLANS
BLUEBERRY HIGHBUSH — VACCINIUM CORYMBOSUM GROUND COVER: HONEYSUCKLE - LONICERA

OODED AREA 2:
ANOPY TREES: LARGETOOTH ASPEN — POPULUS GRANDIDENTATA
MAPLE (RED) — A. RUBRUM
OAK (BLACK) — QUERCUS VELUTINA
OAK (PIN) — QUERCUS PALUSTRIS
OAK (SCARLET) — QUERCUS COCCINEA
OAK (WHITE) — QUERCUS ALBA
PINE (PITCH) — P. RIGIDA
PINE (VIRGINIA) — P. VIRGINIANA
POST OAK — QUERCUS STELLATA
SASSAFRAS — SASSAFRAS ALBIDIUM
SPANISH OAK — QUERCUS FALCATA

SASSAFRAS — SASSAFRAS ALBIDIUM SPANISH OAK — QUERCUS FALCATA UNDERSTORY TREES: AMERICAN HOLLY — ILEX OPACA BLUEBERRY (LOWBUSH) — VACCINIUM VACILLANS SWEET BAY MAGNOLIA — MAGNOLIA VIRGINIANA

WOODED AREA 3:
CANOPY TREES: OAK (BLACK) — QUERCUS VELUTINA
OAK (WHITE) — QUERCUS ALBA
MAPLE (RED) — A. RUBRUM
SOUR GUM — NYSSA SYLVATICA
UNDERSTORY TREES: CHOKEBERRY — ARONIA ARBUTIFOLIA
LAUREL MOUNTAIN — NALMIA LATIFOLA

GROUND COVER: BLACK CHERRY — PRINUS SEROTINA MILKWEED — ASCLEPIAS

RESTORATION SHALL BE A CONTINUOUS PROCESS AND EACH PORTION OF THE PARCEL SHALL BE RESTORED WITHIN 3 MONTHS AFTER RESOURCE EXTRACTION IS COMPLETED FOR THAT PORTION.

SEEDING SHALL COMMENCE IMMEDIATELY UPON CESSATION OF GRADING OPERATIONS. THE AREA SHALL BE TOPSOILED, SEEDED AND FERTILIZED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

PIS SWITCH GRASS — PANICUM VIRGATUM SEED SHALL BE APPLIED AT A RATE OF 22 POUNDS PER 1,000 S.F.

DEVELOPMENT AND PROGRESSION OF THE SOIL EXTRACTION OPERATION SHALL PROCEED IN ACCORDANCE WITH THE NOTED PHASING AS SHOWN ON THE PLAN. UPON COMPLETION OF EACH PHASE (PRIOR TO PROCEEDING INTO ANOTHER PHASE) SLOPE PROTECTION SHALL BE COMPLETED IN ACCORDANCE WITH THE

PLANTING:
A. THERE SHALL BE A MINIMUM OF 1,000 ONE YEAR OLD PITCH PINE SEEDLINDS PER ACRE.
B. STABILIZATION OF EXPOSED AREAS BY ESTABLISHING GROUND COVER VEGETATION (BEARBERRY AND BLACK HUCKLEBERRY).
C. CLUSTER PLANTINGS OF CHARACTERISTIC PINELAND OAK SPECIES, SUCH AS BLACKJACK OAK, OAK, BEAR OAK, CHESTNUT OAK, SHEEP LAUREL, AT A SPACING SUFFICIENT TO ENSURE ESTABLISHMENT OF THESE SPECIES.
D. ALL PLANTINGS TO BE GUARANTEED FOR TWO (2) YEARS AGAINST DEATH AND DISFASE

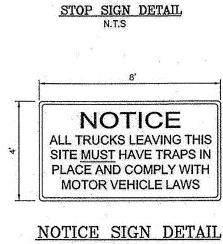
D. ALL FLAVINGS TO BE COMMENTED THE STANDARDS ESTABLISHED BY THE ALL PLANTINGS WILL CONFORM TO THE STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

10-20-10 SHALL BE APPLIED AT A RATE OF 22 POUNDS PER 1,000 S.F.

SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 S.F.
CH FOR SEED AREAS SHALL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000

RESTORATION NOTES:

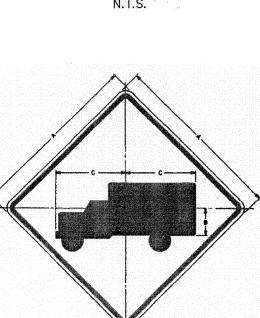
S.F. AND ANCHORED WITH LIQUID BINDER



30"x30"

ON UNIFORM TRAFFIC CONTROL BEVICE)

N.T.S.



COLOR | LEGEND AND BORDER BACKGROUND

BLACK ( NON-REFLECTORIZED) YELLOW (REFLECTORIZED)

FABRIC SECURED TO POST—WITH METAL FASTENERS
AND REINFORCEMENT

BETWEEN FASTENER AND

SILT ACCUMULATION

DIG 6" DEEP TRENCH, BURY BOTTOM FLAP, TAMP IN PLACE

## EXISTING GROUND EOTEXTILE FABRIC TO BE INSTALLED 1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY. 2. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE VIA THE STABILIZED

- 1.5"-2.5" CRUSHED ANGULAR STONE, 6" MIN. DEPTH

Figure A5-1: Typical Installation Detail Using Jute Matting

4 to 10 feet

TYPICAL STAPLE

Bury the top end of the jute strips in a trench 4 inches or more in depth.

Temp the trench full of soil.

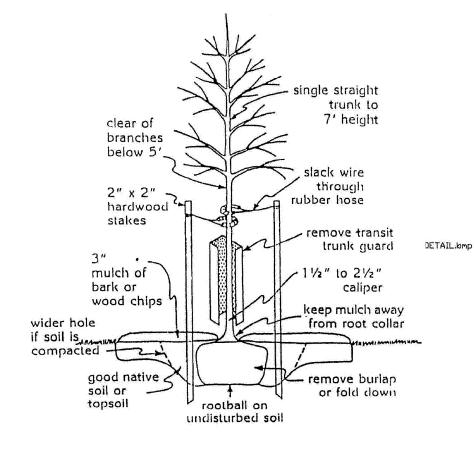
Secure with row of staples, 10 inch spacing, 4 inches

D. Erosion stop -- Fold of jute

tamped, double row of

buried in slit trench and

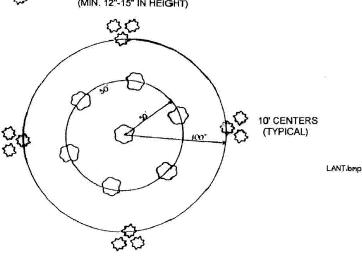
CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR LOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITOINS DEMAND. ALL SEDIMENT DROPPED, SPILLED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY. EXISTING STABILIZED CONSTRUCTION ENTRANCE DETAIL



TREE PLANTING DETAIL

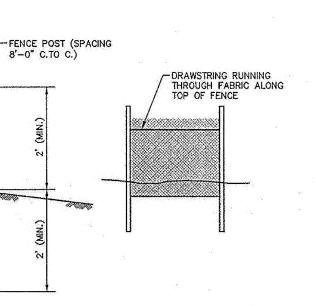
### DENOTES CHARACTERISTIC PINELAND OAK SPECIES

DENOTES BLACK HUKLEBERRY OR SHEEP LAUREL (MIN. 12"-15" IN HEIGHT)

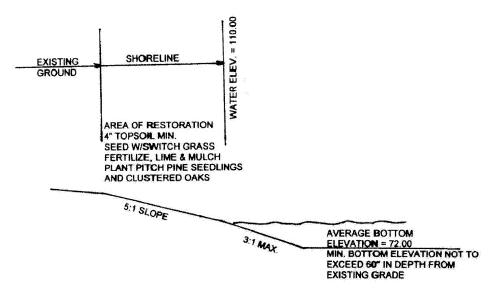


TYPICAL CLUSTER PLANTING (NO SCALE) TWO (2) CLUSTERS PER ACRE

NORMAL MAINTENANCE PROCEDURES SHALL APPLY WITH CONTRACTOR RESPONSIBLE FOR REPLACING LOST MATERIAL FOR A PERIOD OF ONE YEAR.



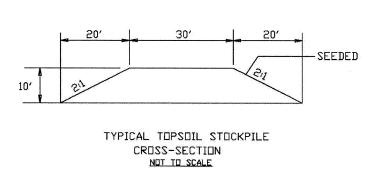
SILT FENCE N.T.S.

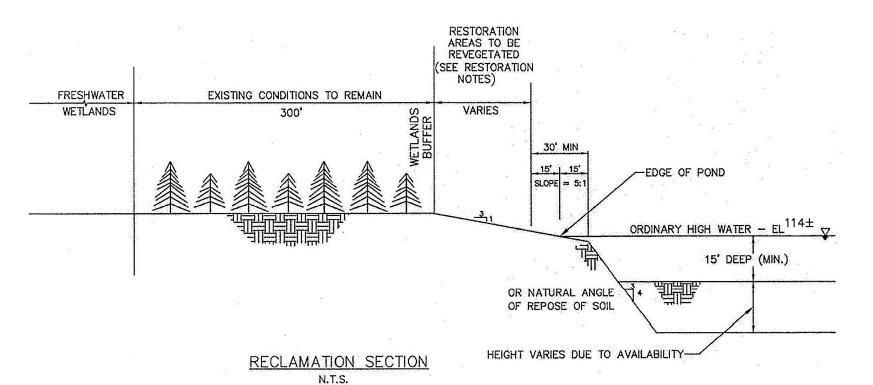


SHORELINE CROSS SECTION (NO SCALE)

TOPSOIL STOCK PILE DETAIL

CALL BEFORE YOU DIG TO LOCATE UNDERGROUND FACILITIES 1-800-272-1000 ANYWHERE IN NEW JERSEY If you're going to dig, blast or drill in New Jersey Remember, it's the law! Three business days notice





500' BUFFER (TO RESIDENTIAL DWELLING) 200' BUFFER (TO RESIDENTIAL PROPERTY LINE) - APPROX. SLOPE - 5:1

-EDGE OF POND ORDINARY HIGH WATER - EL 114± ↔ MINING OPERATION SECTION N.T.S.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- All applicable erosion and sediment control practices shall be in place prior to
- any grading operation and/or installation of proposed structures or utilities. Soll erosion and sediment control practices on this plan shall be constructed in
- accordance with the Standards for Soil Erosion and Sediment Control in New
- Applicable erosion and sediment control practices shall be left in place until construction is completed and/or the area is stabilized.
- The contractor shall perform all work, furnish all materials and install all measures required to reasonably control soil erosion resulting from construction operations and prevent excessive flow of sediment from the
- Any disturbed area that is to be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and fertilization in accordance with the New Jersey Standards and their rates should be included in the narrative. If the season prohibits temporary seeding, the disturbed areas will be mulched with sait hay or equivalent and anchored in accordance with the New Jersey Standards (i.e. peg and twine, mulch netting or liquid mulch binder).
- It shall be the responsibility of the developer to provide confirmation of lime, fertilizer and seed application and rates of application at the request of the Floucester Soil Conservation District.
- All critical areas subject to erosion will receive a temporary seeding in ombination with straw mulch at a rate of 2 tons per acre according to the New Jersey Standards immediately following rough grading.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities
- All sedimentation structures will be inspected and maintained on a regular basis and after every storm event.
- 10. A crushed stone, tire cleaning pad will be installed wherever a construction access exists. The stabilized pad will be installed according to the standards for stabilized construction access.
- All driveways must be stabilized with 2 1/2 inch crushed stone or subbase prior to individual lot construction.
- Paved areas must be kept clean at all times. All catch basin inlets will be protected according to the certified plan.
- All storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- All dewatering operations must discharge directly into a sediment filter area. The sediment filter should be composed of a suitable sediment filter fabric. (See detail.) The basin must be dewatered to normal pool within 10 days of the
- design storm NJSA 4:24-39, et seq. Requires that no certificate of occupancy be issued before all provisions of the certified soil erosion and sediment control plan have

been compiled with for permanent measures. All site work for the project must

prerequisite to the issuance of a certificate of occupancy by the Municipality.

Mulching is required on all seeded areas to insure against erosion before grass is established to promote earlier vegetation cover.

be completed prior to the District Issuing a report of compliance as a

- Offsite sediment disturbance may require additional control measures to be determined by the erosion control inspector.
- A copy of the certified Soil Erosion and Sediment Control Plan must be naintained on the project site during construction.
- The Gloucester Soil Conservation District shall be notified 48 hours prior to any land disturbance.
- Any conveyance of this project prior to its completion will transfer full

esponsibility for compliance with the certified plan to any subsequent owners.

- Immediately after the completion of stripping and stockplling of topsoli, the stockpile must be stabilized according to the standard for temporary vegetative cover. Stabilize topsoil stockpile with straw mulch for protection if the season does not permit the application and establishment of the temporary seeding. All soil stockpiles are not to be located within fifty (50) feet of a floodplain, slope, roadway or drainage facility and the base must be protected with a
- Any changes to the Site Plan will require the submission of a revised Soil Erosion and Sediment Control Plan to the Gloucester Soll Conservation District The revised plan must be in accordance with the current New Jersey Standards for Soil Erosion and Sediment Control.
- Methods for the management of high acid producing soils shall be in accordance with the standards. High acid producing solls are those found to contain Iron sulfides or have a pH of 4 or less.
- Temporary and permanent seeding measures must be applied according the New Jersey Standards, and mulched with salt hay or equivalent and anchored in accordance with the <u>New Jersey Standards</u> (i.e. peg and twine, muich netting or liquid mulch binder).
- Maximum side slopes of all exposed surfaces shall not be constructed steeper than 3:1 unless otherwise approved by the District.
- Dust to be controlled by an approved method according to the New Jersey Standards and may include watering with a solution of calcium chloride and
- Adjoining properties shall be protected from excavation and filling operations
- Use staged construction methods to minimize exposed surfaces, where
- All vegetative material shall be selected in accordance with American Standards for Nursery Stock of the American Association of the Nurseryman and in ccordance with the New Jersey Standards.
- Natural vegetation and species shall be retained where specified on the
- The Soil Erosion inspector may require additional soil erosion measures to be installed, as directed by the District Inspector.
- Quarry area consists of 257.2835 acres Sheet 23 Block 6103 Lots 1, 2, 3, 9, 10 & 11 Franklin Township Sheet 40 Block 9301 Lots 10—18 & 20, Block 8001 Lot 1,
- Persons having control of conductoin quarry operation. Sahara Sand of Franklin, Inc. 355 Newbold Road
- Fairless Hills, PA 19020 215–295–0777
- 35. Average depth of topsoil = 8"
- Average slope: Moderate Standards for Dust Control:
- Method proposed: Sprinkling Site to be sprinkled until wet.

6/4/19 REMOVED LOT 3 BLOCK 6103

mil

BRUCE A. JACOBS

N.J. Professional Engineer No. 37489

38. If any construction of structures is proposed for this site, an application will be neccessary for site plan approval by the Planning Board.

### **GENERAL NOTES:**

REQUIREMENTS.

- FIELD SURVEY PERFORMED DECEMBER, 2008 BY
- ALL COUNTY, INC. U.S.C.&G.S. DATUM USED FOR TOPOGRAPHY. WETLAND DELINEATION PERFORMED BY: TRIDENT
- ENVIRONMENTAL CONSULTANTS, GALLOWAY, NJ. DATED 2/12/08. ALL TOPSOIL NECESSARY FOR RESTORATION, TO
- REMAIN ON SITE, PROTECTED FROM WIND AND WATER EROSION. TOPSOIL SHALL BE RESTORED IN APPROXIMATELY THE SAME QUALITY AND QUANTITY AS EXISTED AT

THE TIME THE RESOURCE EXTRACTION OPERATION

WAS INITIATED. (MINIMUM 4" THICK.) ALL EQUIPMENT, MACHINERY AND STRUCTURES, EXCEPT FOR STRUCTURES THAT AREA USABLE FOR RECREATIONAL PURPOSES OR ANY OTHER USE AUTHORIZED IN THE AREA, SHALL BE REMOVED WITHIN SIX (6) MONTHS AFTER THE RESOURCE EXTRACTION OPERATION IS TERMINATED AND RESTORATION IS COMPLETED. THE RESTORATION OF THE SITE MUST BE ON-GOING AND IN ACCORDANCE WITH THE PLANS. ALL

RESTORATION WORK MUST ALSO BE DONE IN

ACCESS ROADS TO BE FENCED OR BLOCKED TO PREVENT UNAUTHORIZED ENTRY INTO THE RESOURCE EXTRACTION OPERATION.

CONFORMANCE WITH THE PINELANDS COMMISSION

- **EXTRACTION OPERATIONS WILL NOT INVOLVE** EXCAVATION BELOW THE SEASONAL HIGH WATER TABLE, UNLESS THE EXCAVATION WILL SERVE AS A RECREATIONAL OR WILDLIFE RESOURCE OR A WATER RESERVOIR FOR PUBLIC, AGRICULTURAL OR INDUSTRIAL USES OR FOR ANY OTHER USE AUTHORIZED IN THE AREA IN WHICH THE SITE IS LOCATED.
- SAHARA SAND OF FRANKLIN, INC. SHALL BE RESPONSIBLE FOR INSTALLATION, PERIODIC INSPECTIONS AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL DEVICES.
- FINISHED DEPTH OF POND TO BE 49 FEET +/- FROM THE FINISHED WATER SURFACE ELEVATION OF 114.00 +/-
- SAHARA SAND OF FRANKLIN, INC. TO BE LIABLE FOR SECURING THE PROPERTY FROM THE RESIDENCES IN THE AREA AND FROM THE GENERAL PUBLIC BY MEANS OF LOCKED GATES AT ALL ENTRANCES. THEY WILL ALSO BE RESPONSIBLE FOR MAINTAINING THE LAKE.
- EMPLOYEE VEHICLES TO BE KEPT IN THE YARD BEYOND THE SETBACK LINES.
- LIGHTING TO BE ATTACHED TO THE BUILDINGS. NO TRUCKS ARE TO USE BLUE BALL ROAD. APPLICANT WILL POST THE APPROPRIATE SIGNS TO ADVISE TRUCK DRIVERS OF SAME.
- 17. APPLICANT WILL POST SIGNS AT THE ENTRANCE AND AT BOTH DIRECTIONS FROM THE EXIT OF THE SITE DESIGNATING THE WEIGHT LIMITS FOR TRUCKS
- ENTERING UPON THOSE ROADS. APPLICANT WILL POST A RECLAMATION BOND IN THE AMOUNT APPROVED BY THE TOWNSHIP ENGINEER FOR THE RECLAMATION IN ACCORDANCE WITH THE PLAN FOR EACH TWENTY (20) ACRE SITE TO BE MINED BY THE
- APPLICANT. APPLICANT WILL PLACE SIGNS ON ALL FENCING AROUND THE SITE WARNING AGAINST TRESPASSING.
- APPLICANT SHALL BE RESPONSIBLE FOR ANY DRAW DOWN ON WELLS WITH TWO HUNDRED (200) FEET OF THE OUTER-MOST BOUNDARY OF APPLICANT'S PROPERTY.
- APPLICANT WILL INSTALL ADDITIONAL EVERGREENS AS A BUFFER AROUND THE WASH PLANT TO THE SATISFACTION OF THE TOWNSHIP PLANNING BOARD AND ENGINEER. 22. THE APPLICANT SHALL OBTAIN ALL OF THE NECESSARY APPROVALS FROM THE APPLICABLE GOVERNMENT
- AGENCIES AND BODIES AND BODIES CONTROLLING THE APPLICANT'S USE OF THE AFOREMENTIONED PROPERTY. 23. WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE PLANNING BOARD ENGINEER, NO FERTILE TOP LAYER (TOPSOIL) SHALL BE REMOVED FROM THE SITE. ALL
- STOCKPILED FOR USE IN RESTORATION AND REPAIR OF THE SITE. 24. NO SOIL SHALL BE REMOVED WHICH IS WITHIN FIVE (5) FEET OF THE SEASONAL HIGH WATER TABLE OR

SUCH MATERIAL SHALL BE APPROPRIATELY

- UNLESS APPROVED PURSUANT TO 59A-6A. THE TOP OF THE NATURAL SLOPE OR CUTS FOR ANY **EXCAVATION AND ANY MECHANICAL EQUIPMENT SHALL** BE AT LEAST TWO HUNDRED (200) FEET FROM ANY PROPERTY LINE AND AT LEAST TWO (200) FEET FROM
- ANY PUBLIC STREET. THE AREA EXCAVATED SHALL BE GRADED AND COVERED WITH FOUR (4) INCHES OF TOPSOIL AND SEEDED WITH PERENNIAL GRASS DURING THE PLANTING SEASON. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE FROM THE PREMISES, THAN A COVER CROP AS PRESCRIBED BY THE TOWNSHIP ENGINEER SHALL BE SPREAD ON THE PREMISES.

SAHARA SAND OF FRANKLIN, INC.

12/9/20 REVISED PER FRANKLIN/MONROE REVIEW DATED 11/2020 MINING PERMIT PLANS 10/13/20 REVISED PER GCPB LETTER DATED 2/18/20 8/4/20 ADDED LOTS 17, 18, 20 BLOCK 9301 & LOT 1 BLOCK 8001 LOTS 1, 2, 3, 9, 10 & 11 FRANKLIN TOWNSHIP and 2/10/19 FRANKLIN TOWNSHIP RESOLUTION OF APPROVAL BLOCK 9403 LOT 1, BLOCK 9301 LOTS 10 THROUGH 18 & 20, and 6/11/19 REV. PER PINELANDS DRAFT LETTER DATED 6/19 BLOCK 8001 LOT 1 MONROE TOWNSHIP COUNTY, 2/12/19 ADDED BLOCK 6103 LOT 3 AND BLOCK 9301 LOT 16 MJD | BY | CHK.

12/11/2020

NOTES AND DETAILS

GRAVATI

CONSULTING GROUP 414 Lacey Road, Forked River, NJ 08731 Tel. 609 . 693 . 6127 www.gravattconsulting.com Certificate of Authorization No. 24GA27925900

RAWN BY: HM/MJD CHECKED BY: JA SHEET NO. *10* OF PROJECT NUMBER

SCALE: 1"=200'

DATE: DEC. 20, 2018

9973