

#503-SP

PROPERTY OWNERS WITHIN 200 FEET

Gloucester County - Office of Taxation
Certified Adjoining Property List

This table is a listing of adjoining properties within 200 feet of the subject property.

Prepared by: Craig Black, CTA

Highlighted (asterisk)

Municipality	Block	Lot	Qualifier	UID	Location	Owner Name	Owner Street	Owner City	Additional Info
Monroe Township	14301	2		0811-143010000-0000	1531 N TUCKAHOE RD	CROSS KEYS AIRPORT	PO BOX 1449	WILMWOOD, NJ 08090	

List of adjoining (asterisk) that intersect 200 foot buffer from Subject Property.

Municipality	Block	Lot	Qualifier	UID	Location	Owner Name	Owner Street	Owner City	Additional Info
Monroe Township	14301	1		0811-143010000-0000	1531 N TUCKAHOE RD	CROSS KEYS AIRPORT	PO BOX 1449	WILMWOOD, NJ 08090	
Monroe Township	14301	3		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	4	CPARMA	0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	4.01		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	4.02		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	4.03		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	

Municipality	Block	Lot	Qualifier	UID	Location	Owner Name	Owner Street	Owner City	Additional Info
Monroe Township	14301	4.04		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	5		0811-143010000-0000	1499 N TUCKAHOE RD	WILLIAM	1499 N TUCKAHOE RD	CAMDEN, NJ 08105	
Monroe Township	14301	11		0811-143010000-0000	1531 N TUCKAHOE RD	LEWIS PROPERTIES LLC	139 W TOMLIN STATION RD	MOCKLETON, NJ 08055	
Monroe Township	14301	14		0811-143010000-0000	1531 N TUCKAHOE RD	CROSS KEYS AIRPORT	PO BOX 1449	WILMWOOD, NJ 08090	
Monroe Township	14301	15		0811-143010000-0000	1531 N TUCKAHOE RD	CROSS KEYS AIRPORT	PO BOX 1449	WILMWOOD, NJ 08090	
Monroe Township	14301	15.01		0811-143010000-0000	1531 N TUCKAHOE RD	CROSS KEYS AIRPORT	PO BOX 1449	WILMWOOD, NJ 08090	

List of Utilities
Monroe Township, Gloucester County

- State Highways**
 - Attn: Highway Inspector
 - NJ Department of Transportation
 - One Executive Campus
 - Route 70 West
 - Cherry Hill, NJ 08002
 - 856-486-6500
- County Highways**
 - Gloucester County Highway Department
 - 1200 North Delosa Drive
 - Clayton, NJ 08312
 - 856-307-6400
- Monroe Municipal Utilities Authority**
 - 372 Main Street South
 - Williamstown, NJ 08094
 - 856-629-1444
- South Jersey Gas**
 - Corporate Headquarters
 - 1 South Jersey Plaza
 - Folsom, NJ 08037
 - 1-888-766-9900
- Atlantic City Electric**
 - Joseph B. Riding, Mgr.
 - 5100 Harding Hwy.
 - Mays Landing, NJ 08330
 - 1-800-642-3780
- Comcast Cable Co.**
 - 301 South Main Road
 - Vineland, NJ 08360
 - Attn: Construction Department
 - 1-800-COMCAST
- Verizon New Jersey**
 - 540 Broad Street
 - Newark, NJ 07102
 - 1-800-VERIZON
- County Planning Department**
 - Gloucester County Planning Board
 - 1200 North Delosa Drive
 - Clayton, NJ 08312
 - 856-307-6650
- Public Service Electric and Gas Company**
 - Manager - Corporate Properties
 - 80 Park Plaza, T60
 - Newark, NJ 07102
 - 1-800-436-7545

SITE PLANS

FOR

CROSS KEYS AIRPORT

SITUATED IN THE:
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

SITE STATISTICS

OWNER/APPLICANT:	CROSS KEYS AIRPORT PO BOX 1449 WILMWOOD, NEW JERSEY 08090
TRACT IDENTIFICATION:	PLATE 143, BLOCK 14301, LOT 2 1531 N TUCKAHOE ROAD MONROE TOWNSHIP GLOUCESTER COUNTY, NEW JERSEY
TRACT ZONING:	BUSINESS PARK DISTRICT (BP) WITH AIRPORT OVERLAY (AO)
TRACT AREA:	168,388 SF (3.87 ACRES)
EXISTING USE:	AIRPLANE STORAGE
PROPOSED USE:	AIRPORT HANGAR FOR AIRPLANE STORAGE

ITEM	REQUIRED	PROPOSED	STATUS
MINIMUM LOT AREA	20,000 SF	168,388 SF	CONFORMS
MINIMUM FRONT YARD	40 FT	205.64 FT	CONFORMS
MINIMUM LOT FRONTAGE	100 FT	123.28 FT	CONFORMS
MINIMUM SIDE YARD	20 FT	10 FT (PROP. HANGAR)	VARIANCE
		0 FT (EXIST. HANGAR)	EXISTING CONDITION
		2.10 FT (EXIST. SHED)	EXISTING CONDITION
MINIMUM REAR YARD	35 FT	5.16 FT (SHED)	EXISTING CONDITION
		5.87 FT (QUONSET HUT)	EXISTING CONDITION
MAX. LOT COVERAGE	75%	51%	CONFORMS
MINIMUM BUFFERS	25 FT	10 FT	VARIANCE

STORMWATER MANAGEMENT:
THE PROJECT DISTURBS 0.37 ACRES WHICH IS LESS THAN 1 ACRE OF LAND AND CREATES 0.06 ACRES OF ADDITIONAL IMPERVIOUS COVERAGE WHICH IS LESS THAN 1/4 ACRE OF NEW IMPERVIOUS COVERAGE AND IS THEREFORE CONSIDERED A MINOR DEVELOPMENT AND NOT SUBJECT TO N.J.A.C. 7.8 STORMWATER MANAGEMENT RULES.

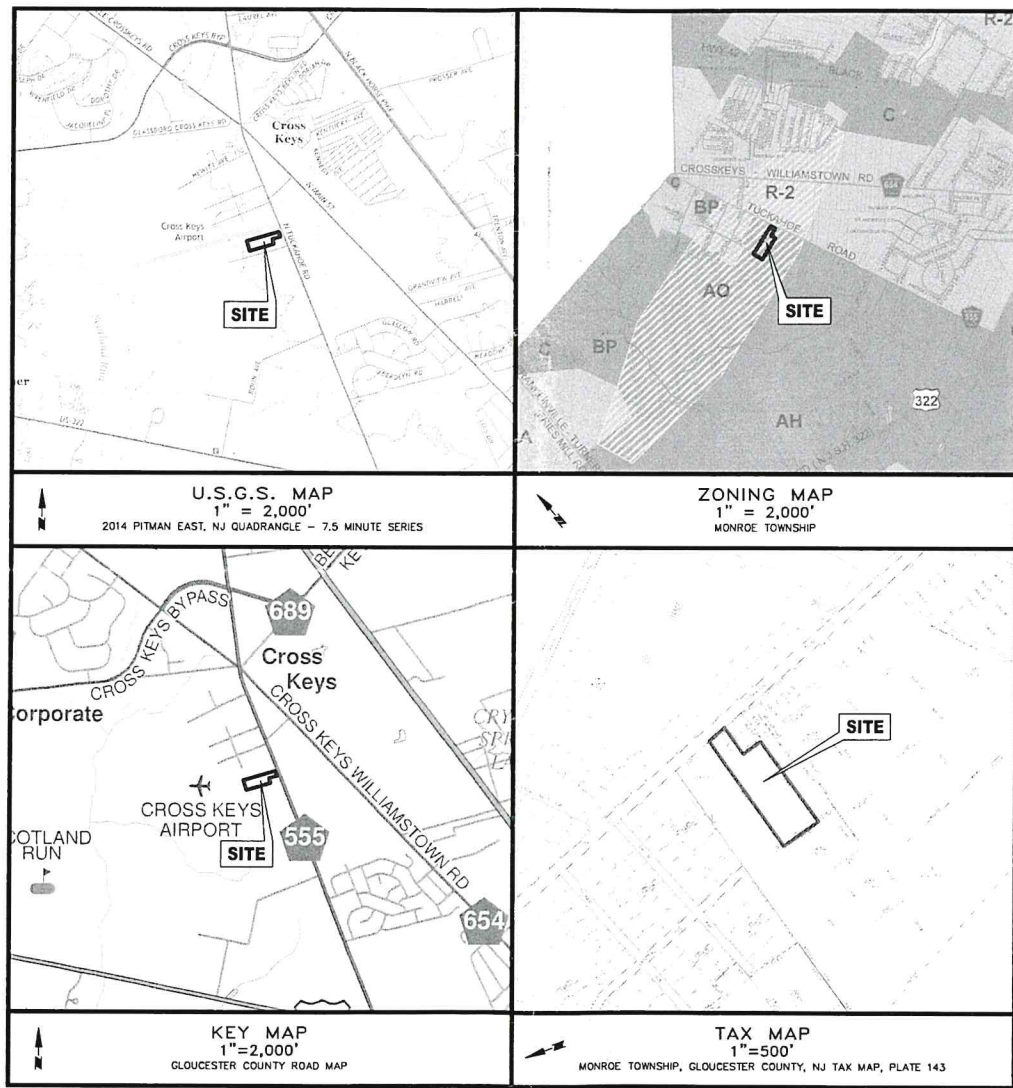
PARKING:
THE PROPOSED HANGAR IS FOR COVERED AIRPLANE STORAGE. NO ADDITIONAL PARKING IS PROPOSED.

VARIANCES REQUESTED:
TO PERMIT 10 FT SIDE YARD WHERE 20 FT IS REQUIRED.
TO PERMIT A REDUCED SIDE BUFFER OF 10 FT WHERE 25 FT IS REQUIRED.

WARNERS:
175-71, A(3)(B) - PROVIDING CONTOURS 200 FT BEYOND THE PROPERTY.

NOTES

- SURVEY AND TOPOGRAPHY AS TAKEN FROM PLAN ENTITLED PLAN OF SURVEY, EXISTING CONDITIONS LOT 2, BLOCK 14301, PLATE 143, PREPARED BY ZENITH/NADR SURVEY, DATED OCTOBER 21, 2019, FILE NUMBER SCE15311.
- THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).



INDEX OF SHEETS

SHEET NO.	DESCRIPTION	ORIGINAL DATE	REVISION DATE
1	COVER SHEET	MAY 19, 2020	-
2	SITE PLAN	MAY 19, 2020	-
3	GRADING PLAN	MAY 19, 2020	-
4	LIGHTING PLAN	MAY 19, 2020	-
5	SOIL EROSION AND SEDIMENT CONTROL PLAN	MAY 19, 2020	-
6	SOIL EROSION AND SEDIMENT CONTROL DETAILS	MAY 19, 2020	-
7	SOIL COMPACTION MITIGATION PLAN	MAY 19, 2020	-
8	SITE CONSTRUCTION DETAILS	MAY 19, 2020	-

LIST OF PERMITS AND APPROVALS

AGENCY	STATUS
MONROE TOWNSHIP PLANNING BOARD	
GLOUCESTER COUNTY PLANNING BOARD	
GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT	

COVER SHEET

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
SITUATED IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

213 CHERRY TREE COURT
FRANKLINVILLE, NEW JERSEY 08322
(856) 885-8679
FAX (856) 513-6594
N.J. CERTIFICATE OF AUTHORIZATION No. GA28184600

FILE NUMBER	2019-728
CHECKED BY: WG	08/19/20
DRAWN BY: JL	DATE
SCALE: AS SHOWN	PROJECT NO. 2019-728
DATE	DATE: MAY 19, 2020
DESCRIPTION	SHEET 1 OF 8

FINAL SITE PLAN APPROVAL GRANTED ON _____
BY THE TOWNSHIP OF MONROE PLANNING BOARD.

PLANNING BOARD SECRETARY _____ DATE _____

I HEREBY CERTIFY THAT THE ENGINEERING CONDITIONS IMPOSED ON THIS APPLICATION FOR FINAL SITE PLAN APPROVAL HAVE BEEN MET.

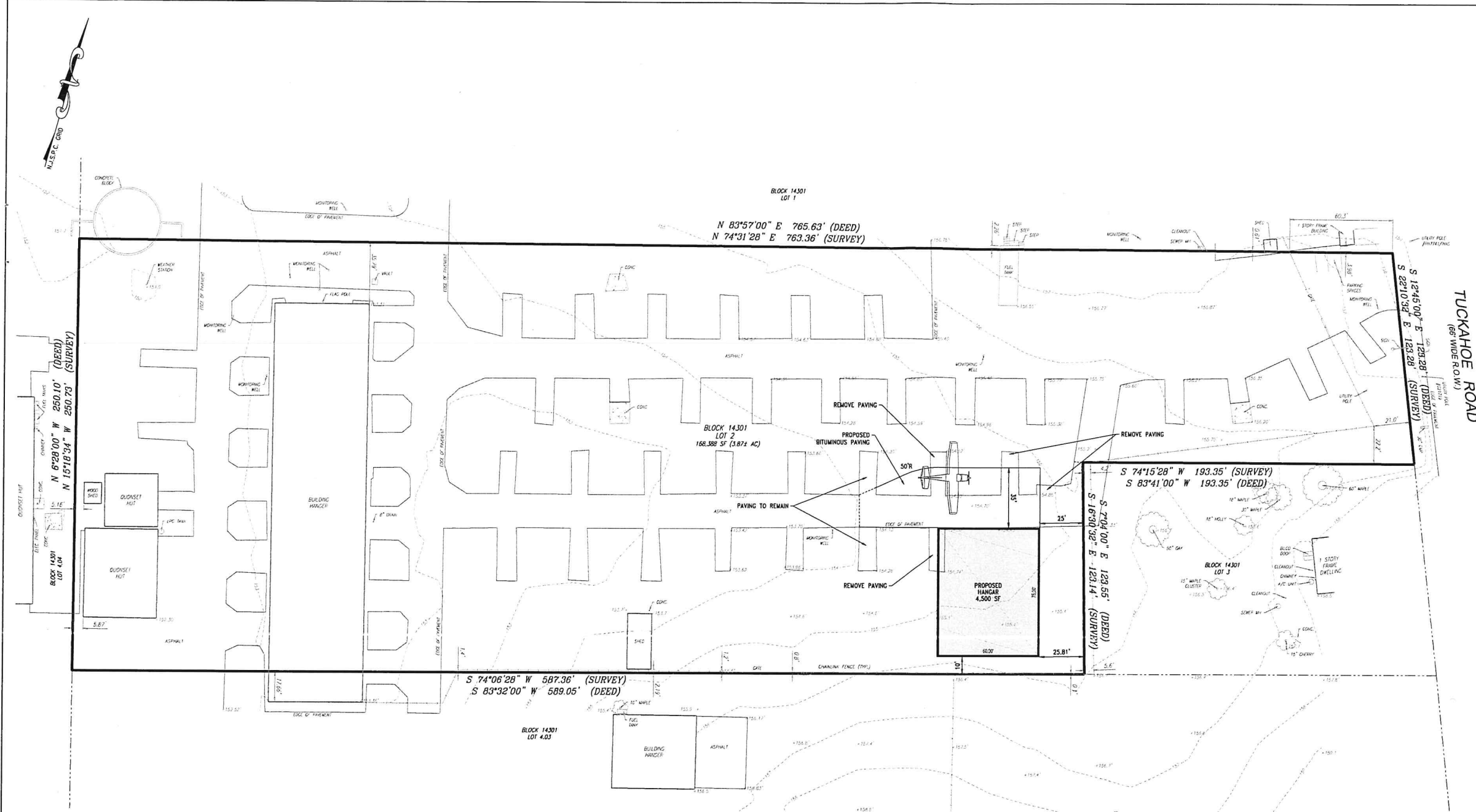
PLANNING BOARD ENGINEER _____ DATE _____

PLANNING BOARD PLANNER _____ DATE _____

PLANNING BOARD ENVIRONMENTAL ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT I AM THE OWNER AND APPLICANT OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

OWNER/APPLICANT NAME _____ DATE _____



SITE STATISTICS

OWNER/APPLICANT:	CROSS KEYS AIRPORT PO BOX 1643 WILDWOOD, NEW JERSEY 08260
TRACT IDENTIFICATION:	PLATE 143, BLOCK 14301, LOT 2 1531 N. TUCKAHOE ROAD MONROE TOWNSHIP GLOUCESTER COUNTY, NEW JERSEY
TRACT ZONING:	BUSINESS PARK DISTRICT (BP) WITH AIRPORT OVERLAY (AO)
TRACT AREA:	168,388 SF (3.87 ACRES)
EXISTING USE:	AIRPLANE STORAGE
PROPOSED USE:	AIRPORT HANGAR FOR AIRPLANE STORAGE

BULK STANDARDS:
NONRESIDENTIAL ZONING DISTRICT (BP)

ITEM	REQUIRED	PROPOSED	STATUS
MINIMUM LOT AREA	20,000 SF	168,388 SF	CONFORMS
MINIMUM FRONT YARD	40 FT	205.84 FT	CONFORMS
MINIMUM LOT FRONTAGE	100 FT	123.26 FT	CONFORMS
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MINIMUM REAR YARD	35 FT	5.16 FT (SHED)	EXISTING CONDITION
		5.87 FT (GLONSET HUT)	EXISTING CONDITION
MAX LOT COVERAGE	75%	51%	CONFORMS
MINIMUM BUFFERS	25 FT	10 FT	VARIANCE

STORMWATER MANAGEMENT:
THE PROJECT DISTURBS 0.37 ACRES WHICH IS LESS THAN 1 ACRE OF LAND AND CREATES 0.06 ACRES OF ADDITIONAL IMPERVIOUS COVERAGE WHICH IS LESS THAN 1/4 ACRE OF HEAVY IMPERVIOUS COVERAGE AND IS THEREFORE CONSIDERED A MINOR DEVELOPMENT AND NOT SUBJECT TO NJDEP 7.8 STORMWATER MANAGEMENT RULES.

PARKING:
THE PROPOSED HANGAR IS FOR COVERED AIRPLANE STORAGE. NO ADDITIONAL PARKING IS PROPOSED.

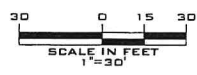
VARIANCES REQUESTED:
TO PERMIT 10 FT SIDE YARD WHERE 20 FT IS REQUIRED.
TO PERMIT A REDUCED SIDE BUFFER OF 10 FT WHERE 25 FT IS REQUIRED.

WARNERS:
175-T1, A)(3)(b) - PROVIDING CONTOURS 200 FT BEYOND THE PROPERTY.

TUCKAHOE ROAD
(60' WIDE R.O.W.)

NOTES

- SURVEY AND TOPOGRAPHY AS TAKEN FROM PLAN ENTITLED PLAN OF SURVEY, EXISTING CONDITIONS LOT 2, BLOCK 14301, PLATE 143, PREPARED BY ZEINITHADOR SURVEY, DATED OCTOBER 21, 2019, FILE NUMBER SCE151311.
- THE SITE IS WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD), AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP FOR GLOUCESTER COUNTY, NEW JERSEY, MAP #04015C02000E, EFFECTIVE DATE JANUARY 20, 2010.
- COORDINATE BASE IS NAD 1983.
- VERTICAL DATUM IS REFERENCED TO N.A.S.D. 1988.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DETAILS AND DIMENSIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP OF MONROE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR INSTALLATION ACTIVITY.
- IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER MARK-OUTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS TO REQUEST EXACT FIELD LOCATION OF UTILITIES BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING BUT NOT LIMITED TO BUILDING, SIDEWALK/STREET CLOSING AND DEMOLITION.
- ALL CONSTRUCTION REQUIREMENTS AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS, SPECIFICATIONS AND DETAILS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NJDEP, AND NOT WHERE APPLICABLE.
- THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS (OSHA COMPETENT PERSON).
- NO WETLANDS ARE LOCATED WITHIN THE PROJECT AREA.
- NO SEPTIC SYSTEMS, WELLS OR DWELLINGS ARE PROPOSED FOR THIS SITE.



SITE PLAN

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
SITuated IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

213 CHERRY TREE COURT
FRANKLINVILLE, NEW JERSEY 08322
(856) 865-8679
FAX (856) 513-6594
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER	2019-729	DATE	06/19/20
CHECKED BY:	WJ		
DRAWN BY:	JL		

SCALE: 1"=30'

REV.	DATE	DESCRIPTION	BY

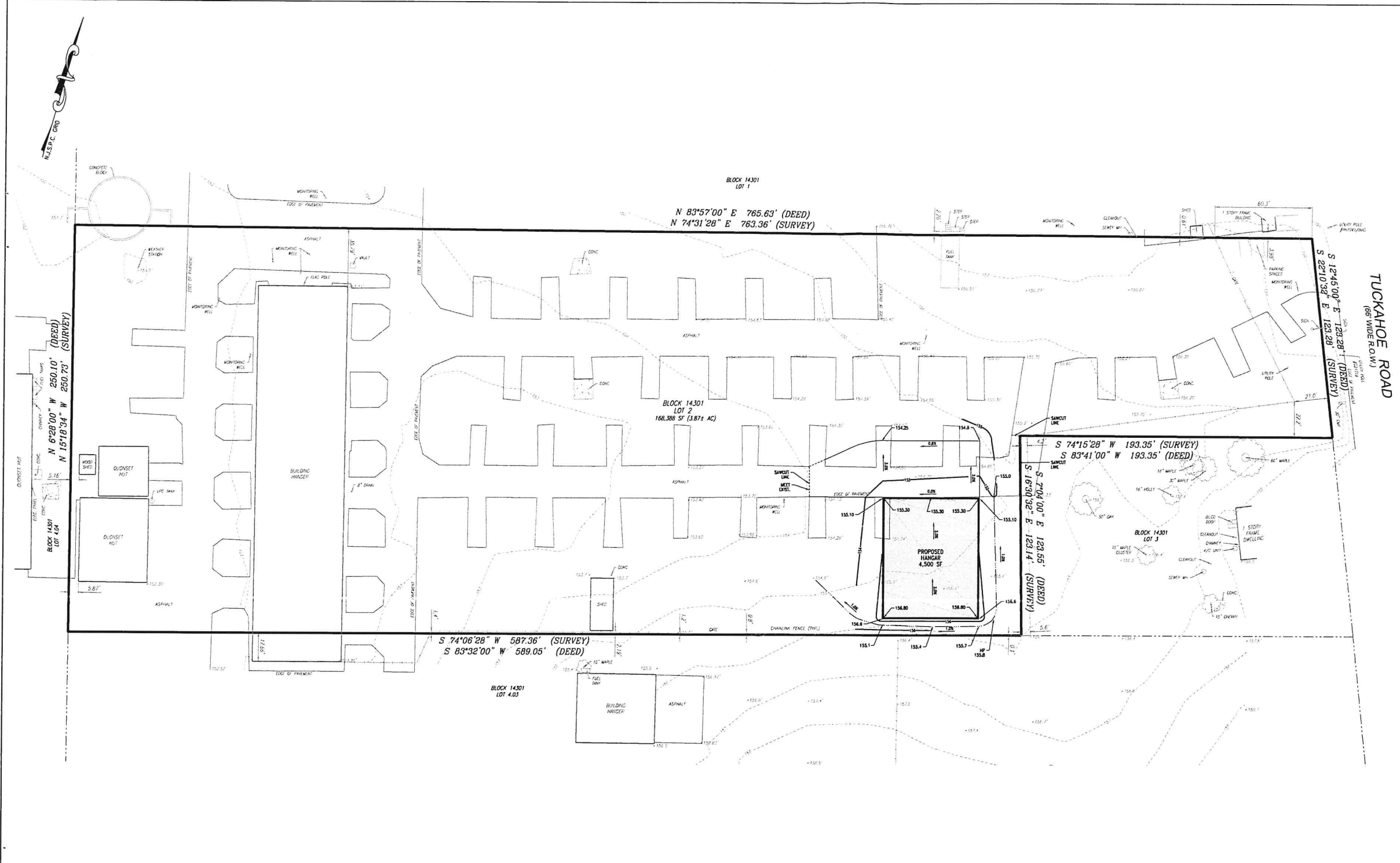
PROJECT NO. 2019-729 DATE: MAY 19, 2020 SHEET 2 OF 8

GENERAL NOTES

- ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THIS PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
- IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER MARK-OUTS.
- IT IS IMPERATIVE THAT THE PROPOSED UNDERGROUND UTILITY CONNECTIONS BE MADE STARTING AT THE MOST DOWNSTREAM END AND THAT THE LOCATION AND DEPTH OF THE EXISTING UNDERGROUND UTILITIES BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THE DOWNSTREAM UTILITY CONNECTIONS CAN BE MADE AND ARE CONSTRUCTED PRIOR TO INSTALLATION OF ANY OTHER PORTIONS OF THE SYSTEM. TEST PITS SHALL BE DUG AT THE DISCRETION OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY CONFLICTS BETWEEN EXISTING AND/OR PROPOSED UTILITY CONNECTIONS AND CROSSINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT DOWNSTREAM UTILITY CONNECTIONS CAN BE MADE AS PROPOSED AND TO THE SATISFACTION OF THE ENGINEER.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND OBSERVATIONS AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATIONS AND DEPTH CANNOT BE GUARANTEED. ALL CONTRACTORS AND OTHER PERSONS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED THAT EACH INDIVIDUAL USING THIS PLAN MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE STARTING WORK.
- THE EROSION AND SEDIMENT CONTROL PLAN IS AN INTEGRAL PART OF THE STORM WATER MANAGEMENT SYSTEM DURING CONSTRUCTION OF CERTAIN STAGES. THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE REFERENCED AND USED IN CONJUNCTION WITH THIS DRAWING TO COMPLETE CONSTRUCTION PHASING.
- THE ROUTING OF ALL UTILITIES IS SUBJECT TO ADJUSTMENT TO MEET UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS OF BUILDING MECHANICAL DESIGN. WHEN BUILDING MECHANICAL DRAWINGS ARE COMPLETE AND UTILITY REQUIREMENTS ARE FINALIZED, NECESSARY ADJUSTMENTS SHALL BE MADE AS PART OF THE PREPARATION OF CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS TO REQUEST EXACT FIELD LOCATION OF UTILITIES BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITIES ENTERING THE BUILDING INCLUDING SANITARY SEWER, LATERALS, DOMESTIC WATER SERVICE AND FIRE PROTECTION, ELECTRIC, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES WHEN CONNECTING INTO EXISTING UTILITY SERVICES. CONTRACTOR TO DETERMINE IF THE EXISTING SERVICE HAS THE CAPACITY TO SERVICE THE NEW BUILDING PRIOR TO THE START OF CONSTRUCTION. IF THE SERVICE DOES NOT HAVE CAPACITY A NEW SERVICE LINE SHALL BE INSTALLED.
- THE CONTRACTOR SHALL REFERENCE ALL TOWNSHIP SPECIFICATIONS FOR UTILITY MATERIALS AND CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS.

GRADING NOTES

- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- THE SITE IS TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED CONTOURS AND SPOT ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW WITHOUT CREATING FLAT SPOTS THAT WILL RESULT IN STANDING WATER (POUNDING OR PONDING).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING BUT NOT LIMITED TO BUILDING, SIDEWALK/STREET CLOSING AND DEMOLITION.
- TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER TO ALL LANDSCAPE AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FROM THE U.S. DEPARTMENT OF TRANSPORTATION.
- ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE TOWNSHIP ENGINEER.
- ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.



TUCKAHOE ROAD
(60' WIDE R.O.W.)

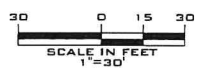
GRADING PLAN

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

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FILE NUMBER	2019-729
CHECKED BY: WG	DATE: 06/19/20
DRAWN BY: JL	DATE: 06/19/20
PROJECT NO. 2019-729	DATE: MAY 19, 2020
SHEET 3 OF 8	



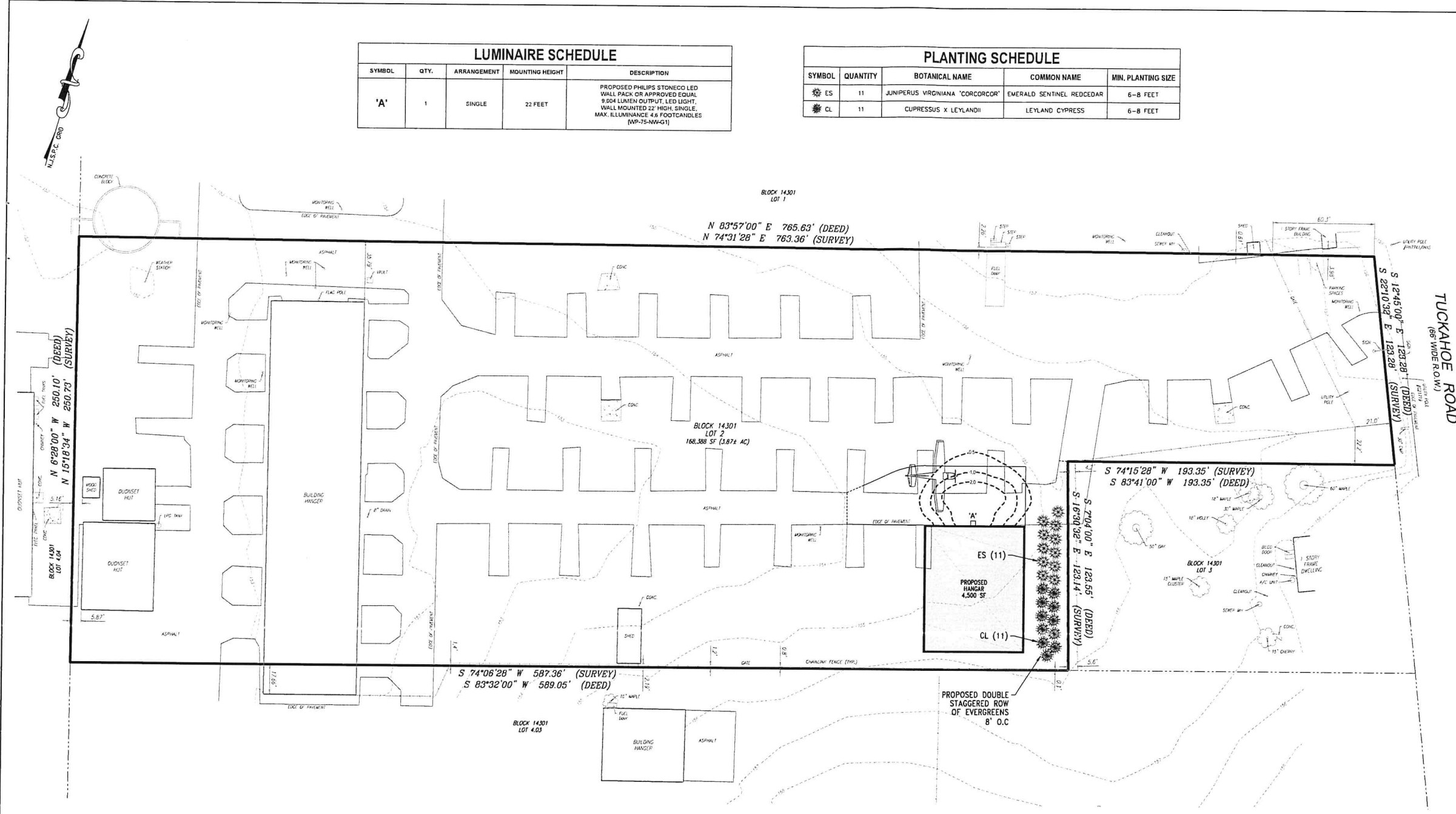
REV.	DATE	DESCRIPTION	BY	SCALE: 1"=30'

LUMINAIRE SCHEDULE				
SYMBOL	QTY.	ARRANGEMENT	MOUNTING HEIGHT	DESCRIPTION
'A'	1	SINGLE	22 FEET	PROPOSED PHILIPS STONCO LED WALL PACK OR APPROVED EQUAL, 9,004 LUMEN OUTPUT, LED LIGHT, WALL MOUNTED 22" HIGH, SINGLE, MAX. ILLUMINANCE 4.8 FOOT CANDLES [WP-75-MW-G1]

PLANTING SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. PLANTING SIZE
ES	11	JUNIPERUS VIRGINIANA 'CORCORCOR'	EMERALD SENTINEL REDCEDAR	6-8 FEET
CL	11	CUPRESSUS X LEYLANDII	LEYLAND CYPRESS	6-8 FEET

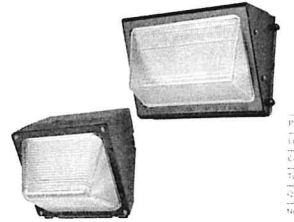
PLANTING NOTES

- ALL SHADE AND STREET TREES SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE HALF (2.5) INCHES MEASURED AT FOUR (4) FEET ABOVE GRADE OR AS REQUIRED BY THE ACCOMPANYING TABLES HEREIN, WHICHEVER IS LARGER.
- ALL ORNAMENTAL AND FLOWERING TREES SHALL HAVE A MINIMUM HEIGHT OF SIX (6) TO EIGHT (8) FEET OR AS REQUIRED BY THE ACCOMPANYING TABLES HEREIN, WHICHEVER IS LARGER.
- ALL EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF FIVE (5) TO SIX (6) FEET UNLESS OTHERWISE DETERMINED BY THE PLANNING BOARD OR CITY PLANNER OR AS REQUIRED BY THE ACCOMPANYING TABLES HEREIN, WHICHEVER IS LARGER.
- SHRUBS SHALL HAVE A MINIMUM PLANTING SIZE AS INDICATED IN THE RELEVANT TABLES WITHIN THIS SECTION OF THE ORDINANCE, BUT IN NO INSTANCE SHALL THE PLANTING SIZE BE LESS THAN FIFTEEN (15) INCHES IN HEIGHT. GRADED COVER SHALL HAVE A MINIMUM TWO (2) INCH DIAMETER PIT.
- TREES AND SHRUBS SHALL BE OF NURSERY-GROWN STOCK AND SHALL BE INSECT AND DISEASE FREE. PLANTS SHOULD BE WELL-FORMED AND HEALTHY NURSERY-GROWN STOCK. THE ROOT BALL SHOULD BE INSPECTED TO INSURE THAT IT IS UNDAUNAGED AND CONTAINS GOOD QUALITY SOIL, AND THAT IT ENCOMPASSES THE ENTIRE ROOT SYSTEM.
- THE QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE MEASURED AND DETERMINED BY ACCORDANCE WITH ANSI Z60.1-1988 (OR CURRENT ADDITION) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- TREES AND SHRUBS SHALL BE PLANTED ACCORDING TO THE FOLLOWING RECOMMENDED HORTICULTURAL PROCEDURES:
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES.
 - DECIDUOUS AND EVERGREEN TREE PLANTING HOLES SHALL BE A MINIMUM OF TWO FEET LARGER THAN THE DIAMETER OF THE ROOT BALL AND TWO TO A DEPTH THAT WILL PLACE THE TREES IN THE SAME RELATION TO FINISHED GRADE AS THE TREE IS TO ITS PRE-CUT EXISTING GRADE. THE ROOT BALL SHALL SIT ON A CONVEX MOUND OF UNDISTURBED SUBGRADE. TOPSOIL AND SUBSOIL SHALL BE MIXED THOROUGHLY WITH SPAGNUM PEAT OR HUMUS BEFORE BACKFILLING.
 - SHRUB PLANTING HOLES SHALL BE A MINIMUM OF TWELVE (12) TO EIGHTEEN (18) INCHES LARGER THAN THE BALL.
 - PLANTINGS SHALL BE SET PLUMB AND STRAIGHT. THE PLANTING SHALL BE SET AT SUCH A LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. THE PLANT SHALL BE LOCATED IN THE CENTER OF THE PIT. ROOTS SHALL BE SPREAD EVENLY THROUGHOUT THE HOLE AND THE HOLE FILLED TO THE TOP OF THE ROOT BALL. THE ADDED SOIL SHOULD BE TAMPED GENTLY, BUT NOT COMPACTED, AND AN EIGHT (8) INCH SAUCER RIM FOR THE EVERGREEN AND DECIDUOUS TREES AND A THREE (3) INCH SAUCER RIM FOR THE SHRUBS SHALL BE CREATED. A SAUCER RIM SHALL NOT BE NEEDED WHEN A SHRUB IS PLANTED IN A MULCHED PLANTING BED.
 - PLANTS SHALL BE THOROUGHLY WATERED ACCORDING TO AN APPROVED WATERING SCHEDULE.
 - CONTRACTOR SHALL REPORT TO THE CITY ENGINEER ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
 - IN SO FAR AS IT IS PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED AND WATER IT APPROPRIATELY. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
 - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
 - TREE TRUNKS SHALL BE WRAPPED WITH TREE WRAP WHICH SHALL BE REMOVED AFTER ONE (1) GROWING SEASON.
 - IN THE CASE OF BALLED AND BURLAPPED TREES, THE BURLAP AND BRIVINGS SHALL BE REMOVED FROM THE TOP OF THE ROOT BALL IF SYNTHETIC NON-Biodegradable BURLAP AND TWINE OR WIRE MESH IS USED. COMPLETE REMOVAL OF THESE MATERIALS SHALL BE REQUIRED AFTER SETTING PLANT MATERIAL IN HOLE.
 - ALL TREES AND SHRUBS SHALL BE DELIVERED TO THE SITE UNPRUNED. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ONE-THIRD (1/3) OF THE LEAF AREA SHOULD BE REMOVED BY THINNING THE BRANCHES AND REDUCING THEIR LENGTH. THE CENTRAL LEADER OF THE TREE SHALL NOT BE CUT.
 - TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES GREATER THAN SIX (6) INCHES SHALL BE GUYED TO ANCHORS. SMALLER TREES SHALL BE STAKED WITH TWO (2) WOOD STAKES. THE STAKES SHALL HAVE A MINIMUM TWO (2) INCH NOMINAL DIAMETER. THE SUPPORT WIRES BETWEEN THE STAKES AND THE TREE SHALL BE A DOUBLE STRAND OF GALVANIZED WIRE, WITH A MINIMUM OF NO. 16 GAUGE, TO PROTECT THE TREE FROM INJURY. THE PORTION OF THE SUPPORT WIRE IN CONTACT WITH THE TREE SHALL BE ENCASED IN REINFORCED RUBBER HOUSING OR EQUAL, TO INCREASE THE VISIBILITY FOR SAFETY. SURVIVOR'S FLAGS SHALL BE TIED TO THE SUPPORT WIRES.
 - ALL PLANTING BEDS AND TREE SAUCERS SHALL BE DRESSED TO A MINIMUM DEPTH OF THREE (3) INCHES WITH SHREDDED HARDWOOD MULCH.
 - NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
 - NO DECIDUOUS OR EVERGREEN TREES SHALL BE PLANTED CLOSER THAN TEN (10) FEET TO A SANITARY OR UTILITY EASEMENT.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A DURATION GUARANTEE OF AT LEAST TWO (2) YEARS FOR TREES AND A MINIMUM OF TWO (2) GROWING SEASONS FOR SHRUBS. REPLACEMENT OF DEAD OR DISEASED MATERIAL SHALL BE MADE AT THE BEGINNING OF EACH PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
 - NO SHRUB SHALL BE PLANTED WITHIN FOUR (4) FEET OF ANY WATER MAIN, SANITARY MAIN, WATER SERVICE OR SANITARY SERVICE LATERAL. NO SHADE TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF ANY WATER MAIN, SANITARY MAIN, WATER SERVICE OR SANITARY SERVICE LATERAL.
 - THE LANDSCAPE TREATMENT OF ADDING TOPSOIL AND SEEDED GRASS SHALL BE APPLIED TO ALL NONPAVED AREAS.
 - IRRIGATION BY HOSE.

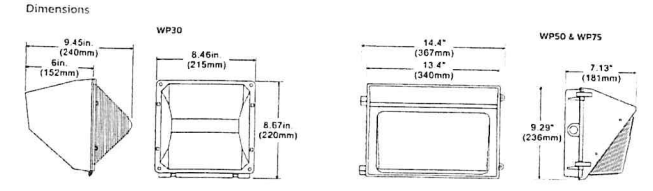


PHILIPS Stonco

Wall Mount
Wall Pack



Product	
Finish	
Color	
Size	
Notes	



LED Wattage and Lumen Values

Product Code	Total Watts	System Current (mA)	Color Temp. (K)	Average System Voltage (V)	Lumen Output (lm)	lm/W Ratio	Efficiency (%)
WP30-WW-G1	1	750	4000	28.8	3355	8.07 lm/W	96
WP50-WW-G1	1	1300	4000	49	5541	82.63 lm/W	93
WP75-WW-G1	2	900	4000	36	3999	82.90 lm/W	96

Product	Weight (lbs)
WP30	5.76x(2.14)
WP50	8.42x(1.54)
WP75	11.52x(1.24)

1. Wattage and lumen values may vary by lot. LED manufacturers forward color, temperature, and average temperature. Wattage values are for 100% input. Maximum wattage may vary due to ballast and wiring. 2. Lumen values are based on laboratory tests performed in compliance with IESNA E-8-07. 3. Note: Contact your supplier for additional information.

Ordering guide

Luminaire	Wattage	Generation	Voltage	Finish
WP	30, 50, 75	NW-G1	120V/277V	BZ

example WP-50-NW-G1-BZ

LIGHTING DETAILS



LIGHTING & LANDSCAPING PLAN

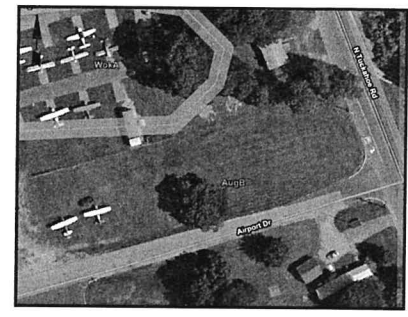
SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
SITUATED IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

213 CHERRY TREE COURT
FRANKLINVILLE, NEW JERSEY 08322
(856) 885 - 6679
FAX (856) 513 - 6594
N.J. CERTIFICATE OF AUTHORIZATION No. GA26186600

REV.	DATE	DESCRIPTION	BY	SCALE:	PROJECT NO.	DATE:	SHEET 4 OF 8
				1"=30'	2019-179	MAY 19, 2020	

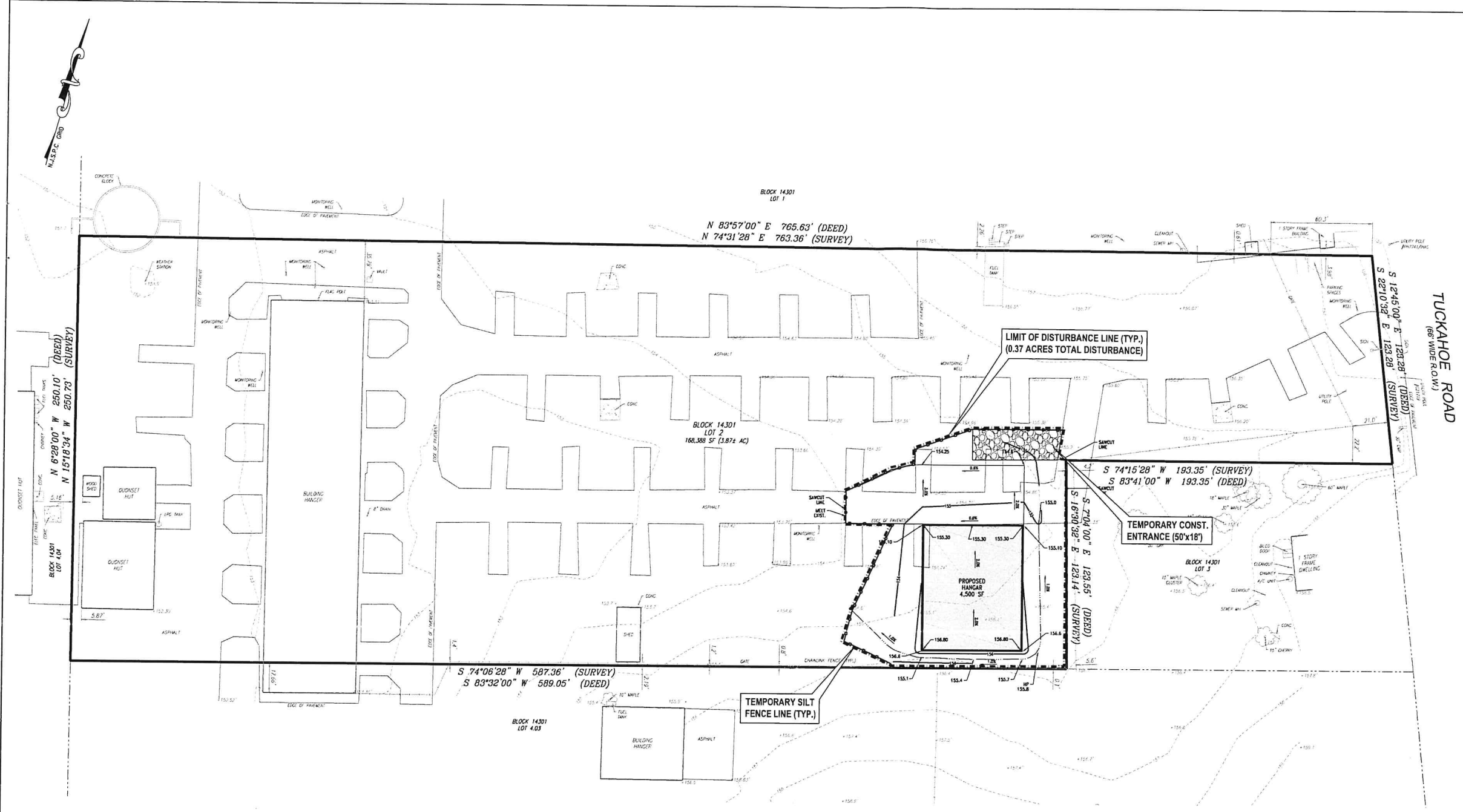
FILE NUMBER: 2019-179
CHECKED BY: WG
DRAWN BY: JL
DATE: 06/19/20
WILLIAM P. GILMORE, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 24634793100



SOILS MAP
SCALE 1"=100'

SOIL TYPE LEGEND

SOILS SYMBOL	SOIL NAME	SLOPE	CLASSIFICATION
AugB	AURA SANDY LOAM	2 TO 5%	B
ViaA	WOODSTOWN & GLASSBORO SANDY LOAM	0 TO 2%	C



REFER TO SHEET 6 FOR EROSION & SEDIMENT CONTROL NOTES AND DETAILS

SOIL EROSION & SEDIMENT CONTROL PLAN

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
SITUATED IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

213 CHERRY TREE COURT
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(856) 885 - 8679
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N.J. CERTIFICATE OF AUTHORIZATION No. GA28186600



FILE NUMBER 2015-729	CHECKED BY: WG	DRAWN BY: JL	DATE 06/19/20
REV.	DATE	DESCRIPTION	BY
SCALE: 1"=30'	PROJECT NO. 2015 - 729	DATE: MAY 19, 2020	SHEET 5 OF 8

William P. Gilmore
WILLIAM P. GILMORE, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 24654783100

SEEDING NOTES

- TOPSOIL STRIPPING AND STOCKPILING**
 - A FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND/OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
 - A 6-INCH STRIPPING DEPTH IS TYPICAL BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL STRUCTURE OR PRE-EXISTING USE.
 - STOCKPILES SHOULD BE LOCATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE AND SHALL BE DELINEATED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN AND BE CONSTRUCTED IN ACCORDANCE WITH THE TOPSOIL STOCKPILE DETAIL.
 - STOCKPILES SHOULD BE TEMPORARILY STABILIZED ACCORDING TO THE STANDARDS.
 - SITE PREPARATION**
 - INSTALL EROSION CONTROL MEASURES AND FACILITIES SUCH AS SILT FENCE, DIVERSIONS, SEDIMENT BASINS AND CHANNEL STABILIZATION.
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, TACKING AND MAINTENANCE. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARDS FOR LAND GRADING. 10-1.
 - SEEDBED PREPARATION**
 - TOPSOIL REQUIRED:**
 - MIN. DEPTH 5" (UNSETTLED);
 - PH 6.0 TO 6.5
 - ORGANIC MATTER CONTENT 2.75% MIN.
 - NITRATE N2 50 LBS/ACRE (20% WATER INSOLUBLE)
 - PHOSPHOROUS 100 LBS/ACRE
 - POTASSIUM 50 LBS/ACRE
 - THE CONTRACTOR SHOULD BE AWARE OF THE POSSIBILITY DEPENDING UPON THE SITE CONDITIONS THAT ALL TOPSOIL MAY HAVE TO BE PROVIDED FROM AN OFF-SITE SOURCE.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
 - APPLY A UNIFORM 5 INCHES (UNSETTLED) OF TOPSOIL ON ALL DISTURBED AREAS. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE AND THE TOP 5 INCHES SHALL CONFORM TO THE TOPSOIL STANDARD AND SHALL BE LIMED ACCORDING TO THE SPECIFICATIONS.
 - IF THE TOPSOIL BECOMES COMPACTED, THE SURFACE MUST BE SCARIFIED 6" TO 12" TO PROVIDE GOOD SEED CONTACT.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY COOPERATIVE EXTENSION. IF SOIL TESTING IS NOT FEASIBLE, FERTILIZER 10-20-10 WITH 50% WATER INSOLUBLE NITROGEN SHOULD BE APPLIED AT THE TYPICAL RATE OF 500 LBS/ACRE OR 11 LBS/1,000 SQUARE FEET.
 - APPLY LIMESTONE EQUIVALENT TO 50% CALCIUM PLUS MACROESSENTIAL OXIDES (PLASTERED DOLDRITE; LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK - TRENTON FALL LINE) AS FOLLOWS:
 - CLAY CLAY LOAM HIGH ORGANIC 2 1/3
 - SANDY LOAM LOAM SILT LOAM 2 2/3
 - LOAMY SAND SAND 1 1/2
 - WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A UNIFORM, FINE SEEDBED IS PREPARED.
 - REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION AND OTHER COLLECTIONABLE STONES OR DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLUMPS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
 - SEEDING**
 - A. SELECT A SEED MIXTURE APPROVED BY THE CAMDEN COUNTY SCD.
 - B. APPLY SEED UNIFORMLY BY HAND, CYCLONES, DROP SEEDER, DRILL, CULTIPACKER OR HYDROSEEDER. THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE CONVENTIONAL APPLICATIONS ARE NOT FEASIBLE. HYDROSEEDING SHALL BE A TWOSTEP PROCESS: MULCH SHALL NOT BE MIXED WITH THE SEED. THE SEED MUST BE APPLIED FIRST TO ASSURE PROPER SEED TO SOIL CONTACT. THE HYDROMULCH IS THEN SPRAYED OVER THE SEEDING. FOR OPTIMUM RESULTS, THE SEED SHOULD BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/2 TO 3/4 INCH DEPENDING UPON SPECIES. THE USE OF HYDROMULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS.
 - C. AFTER SEEDING, THE SOIL SHOULD BE PACKED WITH A CORRUGATED ROLLER. WHEN PERFORMED ON THE CONTOUR, ROLLING WILL MINIMIZE SHEET EROSION AND MAXIMIZE WATER CONSERVATION.
 - MULCHING**
 - UNROTTED STRAW, HAY FREE OF SEEDS OR SALT HAY IS REQUIRED ON ALL SEEDING AT A RATE OF 1 1/2 TO 2 TONS/1,000 SQUARE FEET, EXCEPT WHERE A DRIFTER IS USED INSTEAD OF A LIQUID MULCH-BINDER. THEN THE RATE OF APPLICATION IS 3 TONS PER ACRE.
 - MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS DUE TO WIND OR WATER. THIS MAY BE DONE ACCORDING TO THE FOLLOWING METHODS:
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 LBS/ACRE APPLIED BY THE HYDROSEEDER. USE IS LIMITED TO ONLY THE OPTIMUM SEEDING SEASON.
 - SYNTHETIC OR ORGANIC BINDERS
 - PEG AND TWINE MULCH NETTING AND MECHANICAL CRIMPING
 - CRIMPING REQUIRES A HIGHER MULCH RATE (3 TONS/ACRE).
 - NOTES:
 - ONE BALE OF HAY WEIGHS 40-60 LBS DEPENDING ON HOW IT WAS BALED.
 - 1,500 GALLON TANK OF HYDROMULCH COVERS 3 ACRES.
- PLEASE NOTE: THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 OF THE STANDARDS ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. (UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% EVENLY DISTRIBUTED VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOVED ONCE.)
- TEMPORARY SEEDING MIXES**
 - MIX EARLY SPRING/LATE SUMMER TO EARLY FALL
100% PERENNIAL RYEGRASS
RATE: 100 LBS/ACRE
 - MIX LATE FALL
100% CEREAL RYE
RATE: 112 LBS/ACRE
 - MIX MID-SUMMER
40% PEARL MILLET
40% MILLET (GERMAN OR HUNGARIAN)
20% WEEPING LOVEGRASS
RATE: 100 LBS/ACRE
 - RECOMMENDED PERMANENT SEEDING MIXES**

OPTIMUM SEEDING DATES: FEBRUARY 15 TO MARCH 30 AND AUGUST 15 TO OCTOBER 30
LAWNS - RATE 200 LBS/ACRE
SCD PREFERRED MIX FOR LAWNS AND DETENTION BASINS
70% TURF TYPE TALL FESCUE*
20% PERENNIAL RYEGRASS
10% KENTUCKY BLUEGRASS

MIX LAWNS - LOW MAINTENANCE
DROUGHTY & HEAVY TRAFFIC
80% TALL FESCUE TURF TYPE (LOW GROWING VARIETIES)*
10% PERENNIAL RYEGRASS (LOW GROWING VARIETIES)*

MIX SHADE
60% HARD CHEWINGS OR CREEPING RED FESCUE*
20% KENTUCKY BLUEGRASS
15% PERENNIAL RYEGRASS

MIX LAWNS - QUALITY SUN AND SHADE
20% PERENNIAL RYEGRASS
30% CHEWINGS FESCUE
30% CREEPING RED FESCUE
15% KENTUCKY BLUEGRASS

*INCLUDE AT LEAST THREE VARIETIES IN MIX - USE THE ABOVE MIX FOR INFREQUENT MOWING FOR A REGULAR MOWING/MAINTENANCE REGIME. SUBSTITUTE KENTUCKY BLUEGRASS AND/OR TALL FESCUE FOR THE FLAT PEA. CONSERVATION PLANTINGS.

PERMANENT SEED MIXTURE

OPTIMUM SEEDING DATES: FEBRUARY 15 TO MARCH 30 AND AUGUST 15 TO OCTOBER 30
MINIMUM APPLICATION RATE
40 TOTAL POUNDS OF SEED PER 1,000 SQUARE FEET (IF HYDROSEEDING WILL BE THE METHOD OF APPLICATION THE SEED RATE SHALL BE INCREASED BY 25%)
HYDROSEED AREA MUST RECEIVE MULCH AND TACKIFIER
SEED MIX FOR LAWNS
70% TURF TYPE TALL FESCUE
20% PERENNIAL RYE
10% KENTUCKY BLUE GRASS

CONSTRUCTION SEQUENCE

- MOBILIZATION: 1 WEEK
 - CONSTRUCT TEMPORARY SOIL EROSION AND SEDIMENT CONTROL FACILITIES: 3 DAYS
 - DEMO: CLEAR AND ROUGH GRADE SITE: 1 WEEK
 - INSTALL UTILITIES: 1 WEEK
 - CONSTRUCT HANGAR: 3 WEEKS
 - INSTALL PAVING: 1 WEEK
 - ESTABLISH PERMANENT COVER AND LANDSCAPING: 1 WEEK
 - COLLECT SILT AND SEDIMENT AND REMOVE FROM SITE: 1 WEEK
 - REMOVE SOIL EROSION & SEDIMENT CONTROL MEASURES: 3 DAYS.
- ESTIMATED TOTAL TIME OF CONSTRUCTION: 3 MONTHS

TOPSOIL NOTES

- TOPSOIL SHOULD BE FRABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 15 MILLIMOS PER CENTIMETER. MORE THAN 15 MILLIMOS MAY DEBACATE SEEDINGS AND ADVERSELY IMPACT GROWTH). TOPSOIL HAULED IN FROM OFFSITE SHOULD HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
 - TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.
- STRIPPING AND STOCKPILING:**
- A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
 - STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5. IN LIEU OF SOIL TESTS, SEE LIME RATE GUIDE IN SEEDBED PREPARATION FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1.
 - A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
 - STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFFSITE ENVIRONMENTAL DAMAGE.
 - STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN. SEE STANDARDS FOR PERMANENT (PG. 4-1) OR TEMPORARY (PG. 7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.

- SITE PREPARATION**
- GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE.
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING AND MAINTENANCE. SEE THE STANDARDS FOR LAND GRADING, PG. 10-1.
 - AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES.
 - IMMEDIATELY PRIOR TO TOPSOILING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS WILL HELP INSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
 - EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- APPLYING TOPSOIL**
- TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE, I.E. LESS THAN FIELD CAPACITY.
 - A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL, HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCTION SOIL.

STANDARDS FOR DUST CONTROL

DEFINITION: THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS

PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT: SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

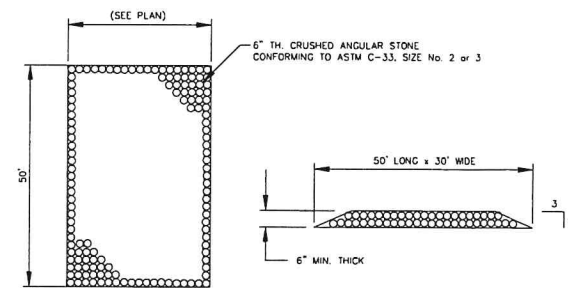
PLANNING CRITERIA:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES: SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER: SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1; AND PERMANENT STABILIZATION WITH SOO, PG. 6-1

SPRAY-ON ADHESIVES: ON MINERAL SOILS (NOT EFFECTIVE ON CLAY SOILS). KEEP TRAFFIC OFF THESE AREAS. DUST

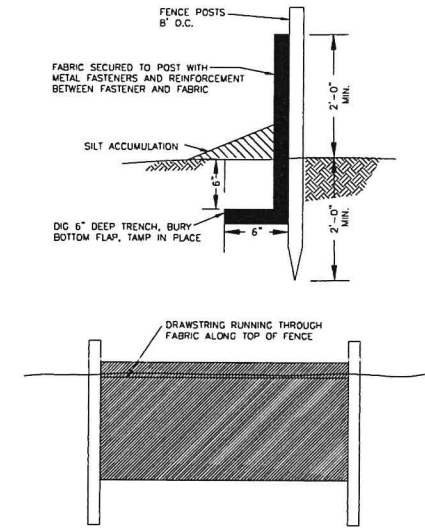


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 to 2%	50 FEET	100 FEET
2 to 3%	100 FEET	200 FEET
>3%	ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE	

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE DETAIL



- NOTES**
- FENCE POSTS SHALL BE HARDWOOD WITH A MINIMUM THICKNESS OF 1-1/2 INCHES.
 - WHERE INDICATED ON THE PLANS, SILT FENCE MAY BE REINFORCED WITH METAL WIRE FENCE. REINFORCEMENT FENCE SHALL BE AT LEAST 2 FEET HIGH AND SHALL HAVE OPENINGS NO GREATER THAN 6 INCHES WIDE.

TEMPORARY SILT FENCE DETAIL

SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
STRUTED IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

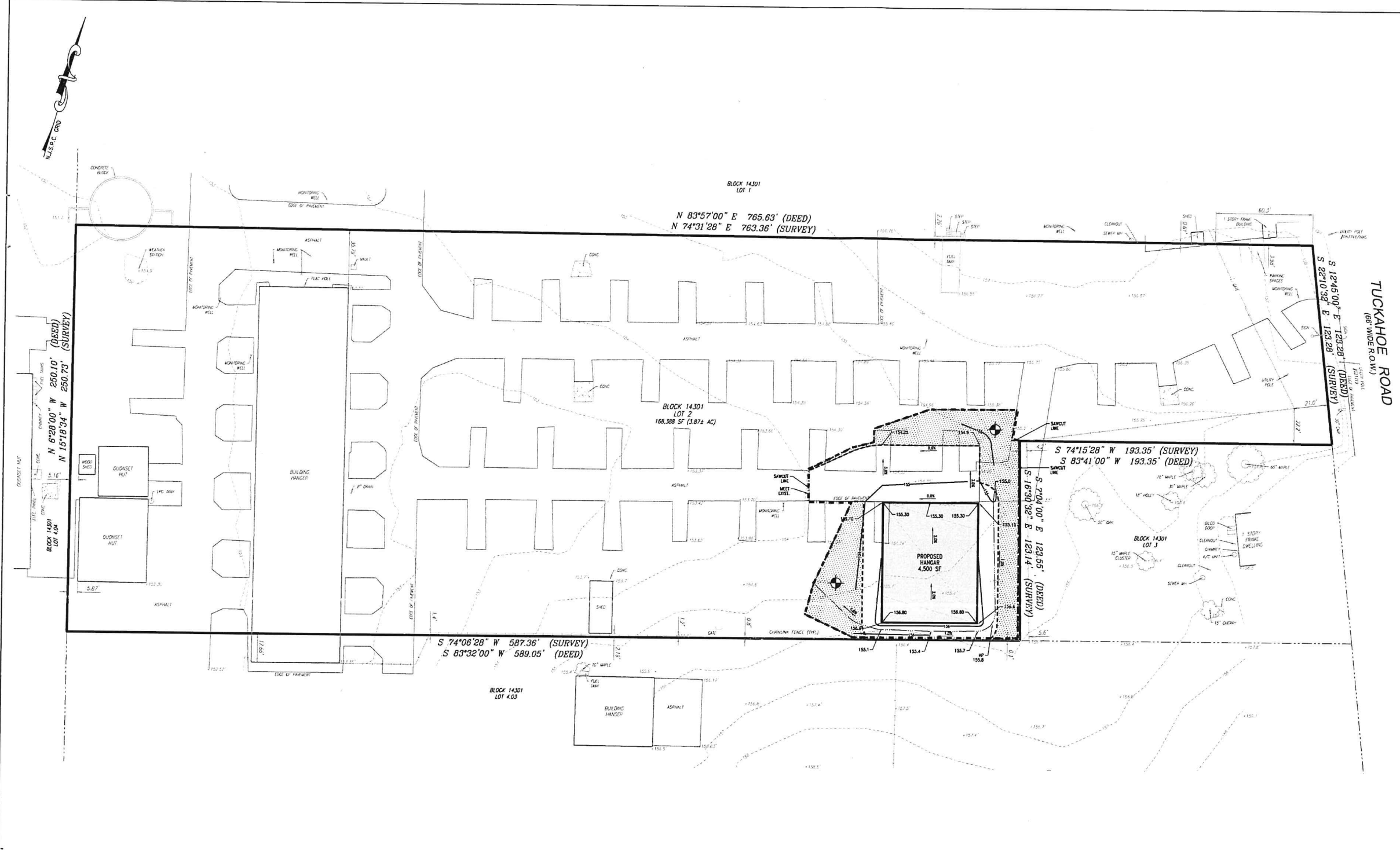
SITE CIVIL ENGINEERING

213 CHERRY TREE COURT
FRANKLINVILLE, NEW JERSEY 08322
(856) 885 - 8679
FAX (856) 513 - 6594
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER 2019-729	06/19/20
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WILLIAM P. GILMORE, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 24624793100

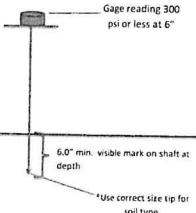
REV.	DATE	DESCRIPTION	BY	SCALE: 1"=30'	PROJECT NO. 2019 - 729	DATE: MAY 19, 2020	SHEET 6 OF 8
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SOIL DE-COMPACTION AND TESTING REQUIREMENTS

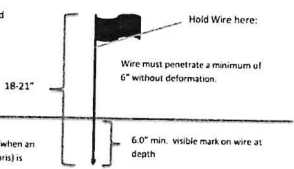
- A. SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY Delineated ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
 - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THE FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE EMPLOYED TESTING METHOD (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (INCLUDING EXISTING AREAS); OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED LICENSED PROFESSIONAL.
- B. COMPACTION TESTING METHODS**
- PROBING WIRE TEST (SEE DETAIL)
 - HANDHELD PENETROMETER TEST (SEE DETAIL)
 - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
 - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
 - ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS AND WHICH PRODUCE A DRY WEIGHT SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
 - DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 15 STANDARDS FOR LAND USE/DESIGN OF THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
 - SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 18\"/>
- C. PROCEDURES FOR SOIL COMPACTION MITIGATION**
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE 18\"/>

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6\"/>



HANDHELD SOIL PENETROMETER TEST DETAIL

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



PROBING WIRE TEST DETAIL
[15.5 GA STEEL WIRE (SURVEY FLAG)]

SOIL COMPACTION MITIGATION LEGEND

- [Hatched Box] SOIL COMPACTION TESTING AREA
- [Crosshair Symbol] RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER 1/2 ACRE)



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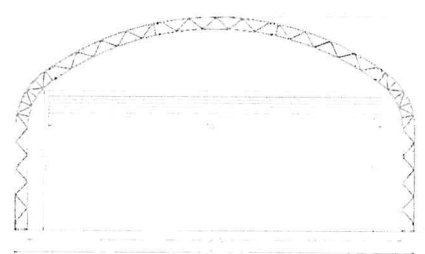
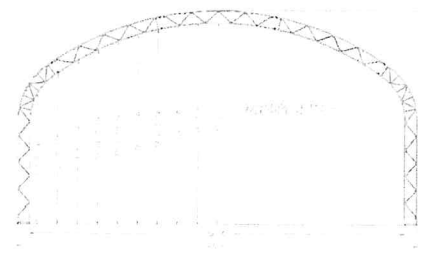
SOIL COMPACTION MITIGATION PLAN

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
1531 N. TUCKAHOE ROAD
SITUATED IN THE
TOWNSHIP OF MONROE
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

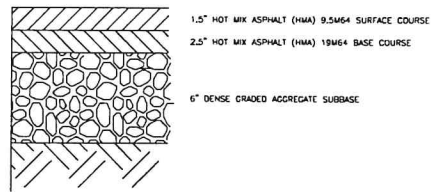
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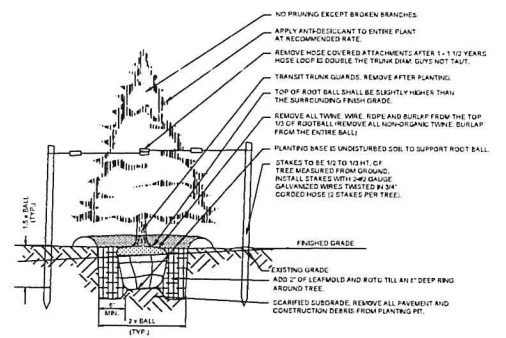
WILLIAM P. GILMORE, P.E.
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HANGAR DETAIL
N.T.S.
REFER TO FINAL ARCHITECTURAL PLANS PREPARED BY URBAN EQUIPMENT COMPANY



PAVEMENT SPECIFICATION DETAIL
N.T.S.



EVERGREEN TREE PLANTING DETAIL
N.T.S.

DETAIL SHEET

SITE PLANS
CROSS KEYS AIRPORT
PLATE 143, BLOCK 14301, LOT 2
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William P. Gilmore
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