

MONROE EQUITIES, LLC

PLATE 148, BLOCK 14801, LOT 12.01

MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

MINOR SITE PLAN PRELIMINARY AND FINAL

PROPERTY OWNERS LIST

SEPTEMBER 24, 2019

BLOCK	LOT	NAME/ADDRESS	BLOCK	LOT	NAME/ADDRESS
MONROE TOWNSHIP					
14201	1.01	BROSSIUS, DONALD AND EVELYN 2808 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.19	71	COONEY, DONNA M. & ROBERT W. 22 ORCHARDEW DR. SEWELL, NJ 08080
14701	1	AMERI AUTO INC 235 WILLIAMSTOWN ROAD BERLIN, NJ 08009	82.21	7	THE TRUMP FAMILY LP 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094
14701	1.02	CAROZZO, DOMING J, LISA, AND SCMECA 2322 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094	85.21	14	CHALL, ADEL GAD & BEYAMIN, DR GHAM 21 ORCHARDEW DR SEWELL, NJ 08080
14801	12	COBRA INC/O TD BANK 70 GRAY ROAD WEST PALMOUTH MAINE, 04105	85.18	10	THE TRUMP FAMILY LP 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094

UTILITY COMPANIES

ATLANTIC CITY ELECTRIC
ATLANTIC CITY ELECTRIC CO
JOSEPH B RIDING, MGR
5100 HARDING HWY
MAYS LANDING, NJ 08330
(800) 842-3780

PSE&G COMPANY
PSE&G COMPANY
MANAGER - CORPORATE PROPERTIES
80 PARK PLAZA, 150
NEWARK, NJ 07102
(800) 436-PSEG

SOUTH JERSEY GAS
SOUTH JERSEY GAS CO
CORPORATE HEADQUARTERS
1 SOUTH JERSEY PLAZA
FOLSOM, NJ 08037
(888) 766-9900

SEWER & WATER DEPT
MONROE MUNICIPAL UTILITIES AUTHORITY
372 MAIN STREET SOUTH
WILLIAMSTOWN, NJ 08094
(856) 629-1444

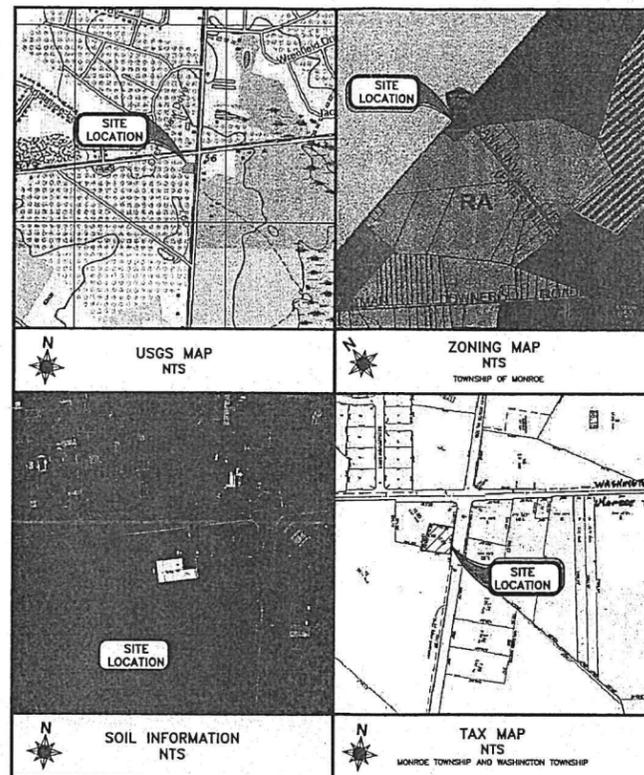
CABLE
COMCAST CABLE CO
CONSTRUCTION DEPT.
301 SOUTH OWEN ROAD
VINELAND, NJ 08380
(800) COMCAST

TELEPHONE
VERIZON NEW JERSEY
9 GATES AVENUE
MONTCLAR, NJ 07042
(800) VERIZON

HIGHWAY
HIGHWAY INSPECTOR
NJ DEPARTMENT OF TRANSPORTATION
ONE EXECUTIVE CAMPUS
ROUTE 70 WEST
CHERRY HILL, NJ 08002
(856) 486-6600

GLOUCESTER COUNTY
HIGHWAY DEPT
1200 NORTH DELSEA DRIVE
CLAYTON, NJ 08312
(856) 307-6400

COUNTY PLANNING DEPT
GLOUCESTER COUNTY PLANNING BOARD
1200 NORTH DELSEA DRIVE
CLAYTON, NJ 08312
(856) 307-6650



INDEX OF SHEETS

SHT. NO.	DESCRIPTION	ORIG. DATE	LAST REV.
1.	COVER SHEET	05/12/2020	
2.	EXISTING CONDITIONS AND DEMOLITION PLAN	05/12/2020	
3.	SITE PLAN AND DETAILS	05/12/2020	
4.	GRADING AND UTILITY PLAN	05/12/2020	
5.	LANDSCAPE AND LIGHTING PLAN AND DETAILS	05/12/2020	
6.	SANITARY SEWER DETAILS	05/12/2020	
7.	SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS	05/12/2020	
8.	TURNING MOVEMENT PLAN	05/12/2020	

SITE DATA

- PROPERTY IN QUESTION KNOWN AS PLATE 148, BLOCK 14801, LOT 12.01 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
- PROPERTY IN QUESTION CONTAINS: 38,190 SF/0.90 AC
- PROPERTY IN QUESTION IS ZONED: "C" COMMERCIAL
- OWNER/APPLICANT: MONROE EQUITIES LLC
14000 HORIZON WAY, SUITE 100
MOUNT LAUREL, NJ 08054
856-439-9200
- PRESENT LAND USE: A VACANT PAD SITE WITH ASSOCIATED PARKING FOR BOTH LOTS 12.01 AND 12.02
- PROPOSED LAND USE: RETAIL BUILDING WITH DRIVE THRU
- EXISTING LOTS: 1
- THIS SITE PREVIOUSLY RECEIVED PLANNING BOARD APPROVAL ON MAY 14, 1998 RESOLUTIONS PB-28-98, PB 33-98, PB 33-98 AND PB 34-98 FOR THE EXISTING CVS SITE AND A 3,000 SF CONVENIENCE STORE WHICH WAS NEVER CONSTRUCTED.
- OUTBOUND AND TOPOGRAPHY IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY AND TOPOGRAPHY, DATED 9/4/2019, LAST REVISED 12/2/19 PREPARED BY CONSULTING ENGINEER SERVICES
- FIELD INSPECTION AND LOCATIONS PERFORMED BY CONSULTING ENGINEER SERVICES ON SEPTEMBER 17, 2019
- THERE ARE NO WETLANDS ON-SITE
- VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATION.
- HORIZONTAL DATUM IS NAVD83 BASED ON GPS OBSERVATIONS.
- TRASH REMOVAL AND RECYCLING OPERATIONS FOR THIS SITE MUST ADHERE TO THE TOWNSHIP ORDINANCE.
- THE CONTRACTOR IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 9:23-2.21 (a) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1928.32 (f) (OSHA COMPETENT PERSON).
- AERIAL IMAGE FROM THE MARCH 2015 ORTHOMOGRAPHY, SOIL INFORMATION TAKEN FROM THE SOIL SURVEY GEOGRAPHIC (SOURG) DATABASE, DEVELOPED AND MAINTAINED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS).
- THE SITE IS LOCATED IN ZONE "X" AREA OF MINIMAL FLOOD HAZARD PER FEMA, TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY, COMMUNITY PANEL NUMBER 3401500006, DATED 01/20/2010.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW," OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-372-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARKOUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
- BULK REQUIREMENTS:

DESCRIPTION	REQUIRED	EXISTING	PROVIDED	VARIANCE
MINIMUM LOT SIZE	20,000 SF	39,190 SF	39,190 SF	
MINIMUM LOT WIDTH	115 FT	194.00 FT	194.00 FT	
MINIMUM FRONT YARD	30 FT	NA	97 FT	
MAXIMUM FRONT YARD	60 FT	NA	97 FT	YES
MINIMUM SIDE YARD	5 FT	NA	48 FT	
MINIMUM REAR YARD	35 FT	NA	13 FT	YES
MAXIMUM LOT COVERAGE	75 %	47 %	72 %	
BUFFER - SIDE YARD	5 FT	0 FT	0 FT	YES
BUFFER - FRONT YARD	10 FT	10 FT	10 FT	
BUFFER - REAR YARD	25 FT	0 FT	0 FT	YES
BUFFER ADJACENT TO RESIDENTIAL	25 FT	25 FT	25 FT	
MAXIMUM BUILDING HEIGHT	40 FT	NA	<40 FT	

- PARKING REQUIREMENTS:
ON-SITE PARKING (LOT 12.01)
REQUIRED: RESTAURANT WITH DRIVE THRU: 1 SPACES/50 SF GFA, 2,000 SF/50 = 40 SPACES
RETAIL: 1 SPACE/150 SF GFA, 4,000 SF/150 = 27 SPACES
PROVIDED: 67 SPACES
OFF-SITE PARKING (LOT 12.02)
REQUIRED: RETAIL: 1 SPACE/150 SF GFA, 10,125 SF/150 = 68 SPACES
PROVIDED: 71 SPACES
COMBINED SHARED PARKING
REQUIRED: RESTAURANT WITH DRIVE THRU: 1 SPACES/50 SF GFA, 2,000 SF/50 = 40 SPACES
RETAIL: 1 SPACE/150 SF GFA, 4,000 SF/150 = 27 SPACES
1 SPACE/150 SF GFA, 10,125 SF/150 = 68 SPACES
PROVIDED: 138 SPACES
97 SPACES (VARIANCE REQUIRED)

- VARIANCES AND WAIVERS REQUIRED:
1) 175-16302a TO ALLOW THE FRONT YARD BUILDING SETBACK TO BE 97 FT WHEN A MAXIMUM OF 60 IS ALLOWED
2) 175-16302b TO ALLOW THE REAR YARD BUILDING SETBACK TO BE 13 FT WHEN 35 FT IS ALLOWED
3) 175-16302c TO ALLOW NO SIDE YARD BUFFER WHEN 5 FT IS REQUIRED
4) 175-16302d TO ALLOW NO REAR YARD BUFFER WHEN 25 FT IS REQUIRED
5) 175-122 TO ALLOW A REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES
6) 175-11641b TO ALLOW 0.50 FOOTCOUNCILS AT PROPERTY LINE WHERE 0.25 FT IS PERMITTED
7) 175-14001 TO WAIVE STORMWATER RUNOFF CALCULATIONS

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

GLOUCESTER COUNTY PLANNING BOARD CHAIRMAN _____ DATE _____

I HEREBY CERTIFY THAT I AM THE OWNER AND APPLICANT OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

OWNER/APPLICANT _____ DATE _____

APPLICANT:
MONROE EQUITIES LLC
14000 HORIZON WAY, SUITE 100
MOUNT LAUREL, NJ 08054
856-439-9200

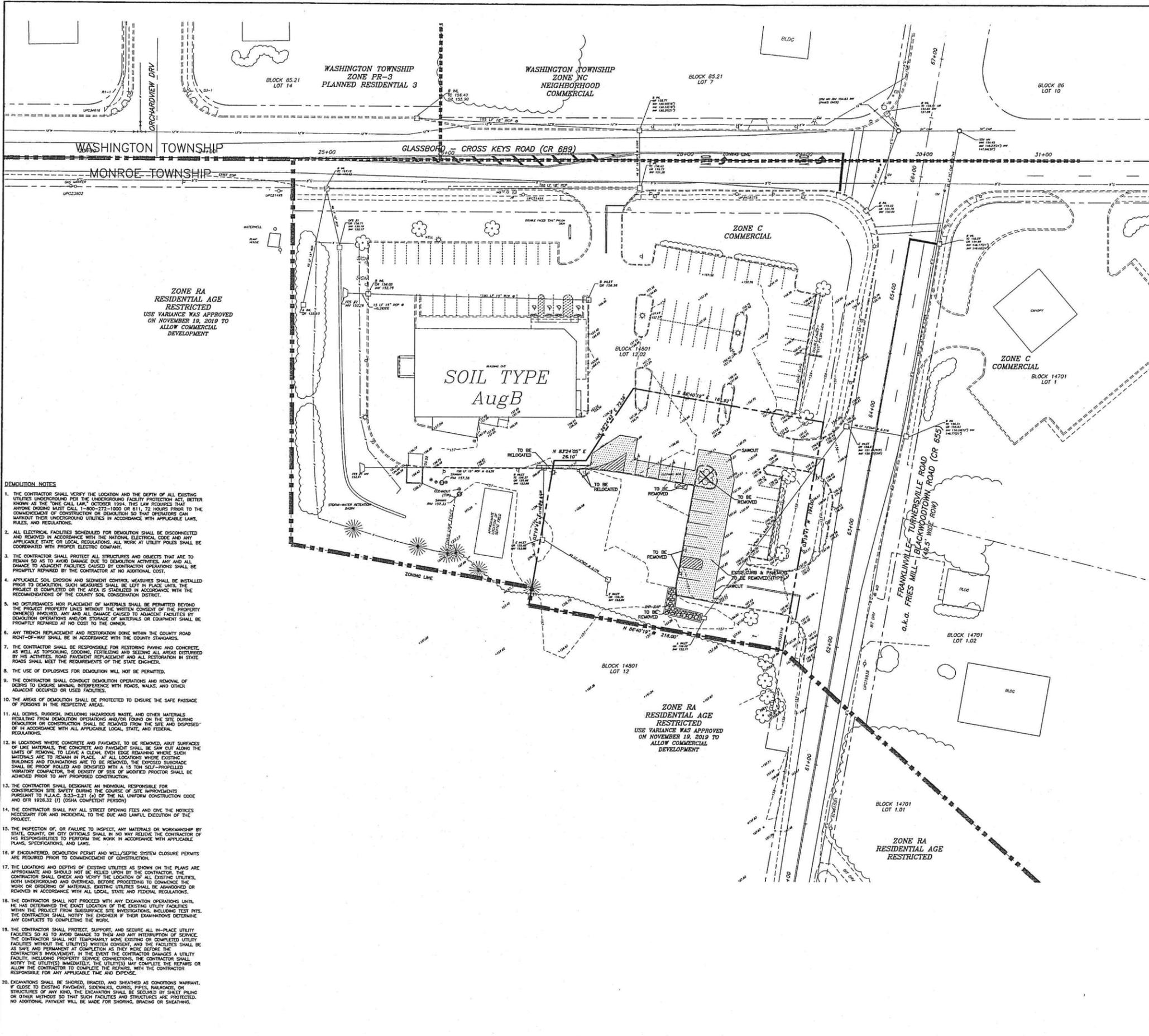
JAROD THOMAS
5-12-2020
DATE

NO.	DATE	REVISIONS

COVER SHEET
MONROE EQUITIES LLC
PLATE 148, BLOCK 14801, LOT 12.01
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

DESIGNED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-1111 FAX (609) 426-1111
NJ CERTIFICATE OF AUTHORIZATION NO. 24-02787700





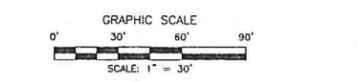
- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND FOR THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW", OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 611, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARK THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
 2. ALL ELECTRICAL FACILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE STATE OR LOCAL REGULATIONS. ALL WORK AT UTILITY POLES SHALL BE COORDINATED WITH PROPER ELECTRIC COMPANY.
 3. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND OBJECTS THAT ARE TO REMAIN SO AS TO AVOID DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY CONTRACTOR OPERATIONS SHALL BE PROMPTLY REPAIRED AT NO ADDITIONAL COST.
 4. APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COUNTY SOIL CONSERVATION DISTRICT.
 5. NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
 6. ANY TRENCH REPLACEMENT AND RESTORATION DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARDS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING AND CONCRETE, AS WELL AS TOPSOILING, SEEDING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN STATE ROADS SHALL MEET THE REQUIREMENTS OF THE STATE ENGINEER.
 8. THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.
 9. THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 10. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
 11. ALL DEBRIS, RUBBISH, INCLUDING HAZARDOUS WASTE, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 12. IN LOCATIONS WHERE CONCRETE AND PAWMENT, TO BE REMOVED, ARE SURFACES OF LIKE MATERIALS, THE CONCRETE AND PAWMENT SHALL BE SAW CUT ALONG THE LIMITS OF REMOVAL TO LEAVE A CLEAN, EVEN EDGE REMAINING WHERE SUCH MATERIALS ARE TO REMAIN IN PLACE. AT ALL LOCATIONS WHERE EXISTING BUILDINGS AND FOUNDATIONS ARE TO BE REMOVED, THE EXPOSED SUBGRADE SHALL BE PROOF ROLLED AND DENSIFIED WITH A 15 TON SELF-PROPELLED VIBRATORY COMPACTOR. THE DENSITY OF SOIL OF MOIST PROCTOR SHALL BE ACHIEVED PRIOR TO ANY PROPOSED CONSTRUCTION.
 13. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 8:23-2.11 (a) OF THE N.J. UNIFORM CONSTRUCTION CODE AND C.R. 1928.32 (1) (OSHA COMPETENT PERSON).
 14. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE THE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
 15. THE INSPECTION OF, OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
 16. IF ENCOUNTERED, DEMOLITION PERMIT AND WELL/SEPTIC SYSTEM CLOSURE PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 17. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE PROCEEDING TO COMMENCE THE WORK OR CHANGING OF MATERIALS. EXISTING UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY EXCAVATION OPERATIONS UNTIL HE HAS DETERMINED THE EXACT LOCATION OF THE EXISTING UTILITY FACILITIES WITHIN THE PROJECT FROM SURFACE GEE INVESTIGATIONS INCLUDING TEST PITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF HIS EXAMINATIONS DETERMINE ANY CONFLICTS TO COMPLETING THE WORK.
 19. THE CONTRACTOR SHALL PROTECT, SUPPORT, AND SECURE ALL IN-PLACE UTILITY FACILITIES SO AS TO AVOID DAMAGE TO THEM AND ANY INTERRUPTION OF SERVICE. THE CONTRACTOR SHALL NOT TEMPORARILY MOVE EXISTING OR COMPLETED UTILITY FACILITIES WITHOUT THE UTILITY(S) WRITTEN CONSENT, AND THE FACILITIES SHALL BE AS SAFE AND PERMANENT AT COMPLETION AS THEY WERE BEFORE THE CONTRACTOR'S INVOLVEMENT. IN THE EVENT THE CONTRACTOR DAMAGES A UTILITY FACILITY, INCLUDING PROPERTY SERVICE CONNECTIONS, THE CONTRACTOR SHALL NOTIFY THE UTILITY(S) IMMEDIATELY. THE UTILITY(S) MAY COMPLETE THE REPAIRS OR ALLOW THE CONTRACTOR TO COMPLETE THE REPAIRS, WITH THE CONTRACTOR RESPONSIBLE FOR ANY APPLICABLE TAX AND DISPOSE.
 20. EXCAVATIONS SHALL BE SHORED, BRACED, AND SHEATHED AS CONDITIONS WARRANT. IF CLOSE TO EXISTING PAVEMENT, SIDEWALKS, CURBS, PIPES, MAILBOXES, OR STRUCTURES OF ANY KIND, THE EXCAVATION SHALL BE SECURED BY SHEET PILING OR OTHER METHOD SO THAT SUCH FACILITIES AND STRUCTURES ARE PROTECTED. NO ADDITIONAL PAYMENT WILL BE MADE FOR SHORING, BRACING OR SHEATHING.

- LEGEND**
- PROPERTY OUTBOUND
 - OUTBOUND/STREAM CENTERLINE
 - EXISTING CENTERLINE
 - EXISTING LOT LINE
 - STREAM CENTERLINE
 - FRESHWATER/WETLANDS BOUNDARY LINE
 - FRESHWATER WETLANDS TRANSITION AREA BOUNDARY LINE
 - FLOOD PLAN LINE
 - EXISTING TIE LINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING GUARDRAIL
 - EXISTING BLOCK NUMBER
 - EXISTING LOT NUMBER
 - EXISTING 1' INTERNAL CONTOUR LINE
 - EXISTING 5' INTERNAL CONTOUR LINE
 - EXISTING SOIL LINE

- SOIL**
- TEST PIT LOCATION
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE W/LIGHT
 - EXISTING UTILITY POLE W/LIGHT & SOLAR PANEL
 - EXISTING UTILITY POLE W/SOLAR PANEL
 - EXISTING UTILITY GUY POLE
 - EXISTING LIGHT
 - EXISTING STORM SEWER AND INLET
 - EXISTING SANITARY SEWER MAN & PIPE
 - EXISTING FORCE MAIN
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING WATER METER PIT
 - EXISTING MONITORING WELL
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING TELEPHONE BOX
 - EXISTING TELEPHONE MANHOLE
 - EXISTING GAS MAIN
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC
 - EXISTING ELECTRIC MANHOLE
 - EXISTING CABLE TV
 - EXISTING FIBER OPTIC CABLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING STREET SIGN
 - EXISTING LIMIT LINE
- ZONE**
- EXISTING TREE TO BE REMOVED
 - TO BE DEMOLISHED OR REMOVED

SOILS LEGEND

DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B



DATE: 5-12-2020

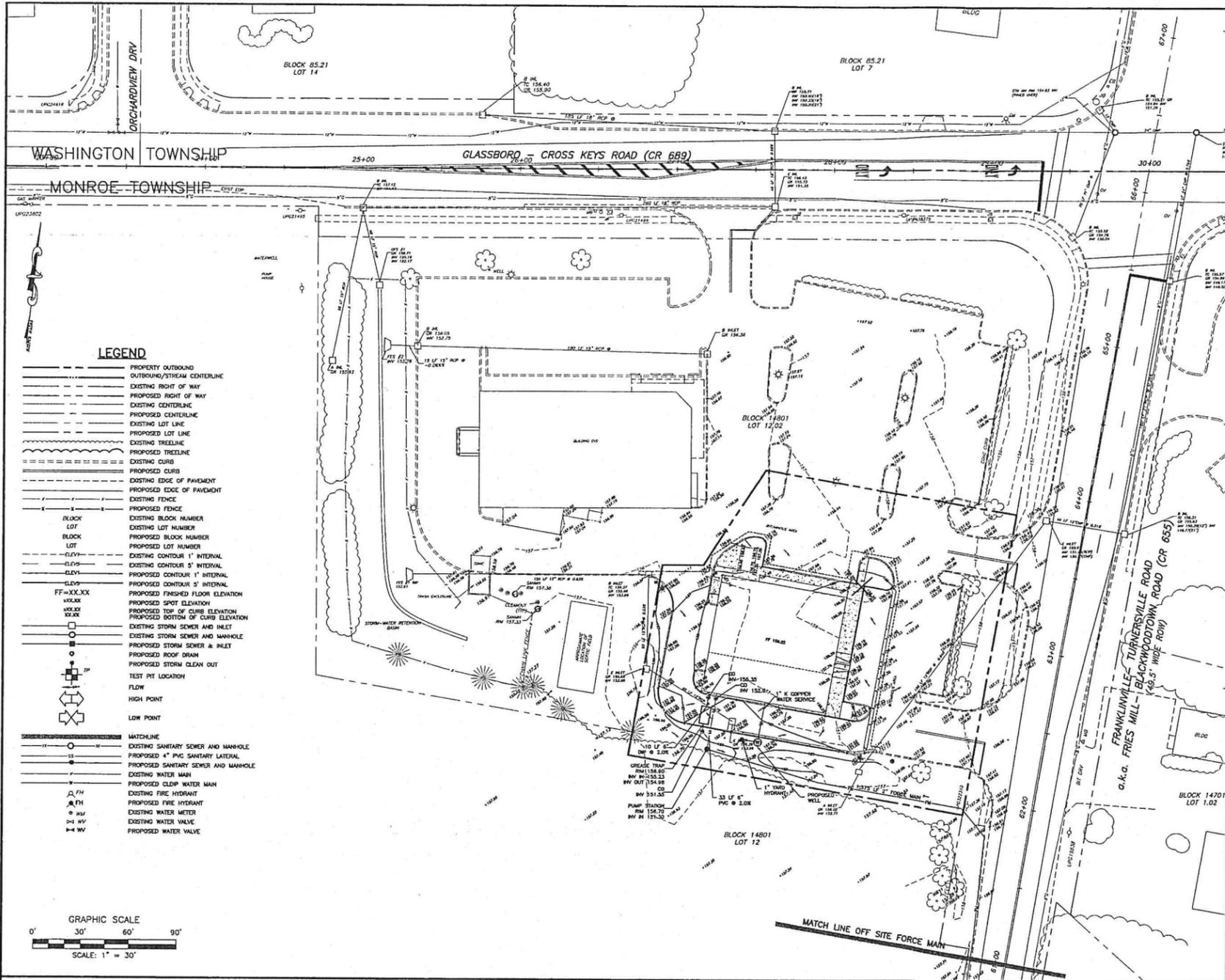
JAROD THOMAS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E05402900

EXISTING CONDITIONS AND DEMOLITION PLAN

MONROE EQUITES LLC
 PLATE 148, BLOCK 14801, LOT 12.01
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

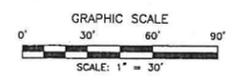
PREPARED BY:
 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEER
 6445 BERLIN-CROSS KEYS ROAD, SUITE 101, SICKLEWELL, NEW JERSEY 08081
 PHONE (609) 335-2244 - FAX (609) 335-2248 - EMAIL: enj@cses.com
 IN COMPLIANCE WITH REGULATION NO. 17:26-1.1001-1.1002

DATE: 05/12/2020 SCALE: 1"=30' SHEET NO. 2 OF 2

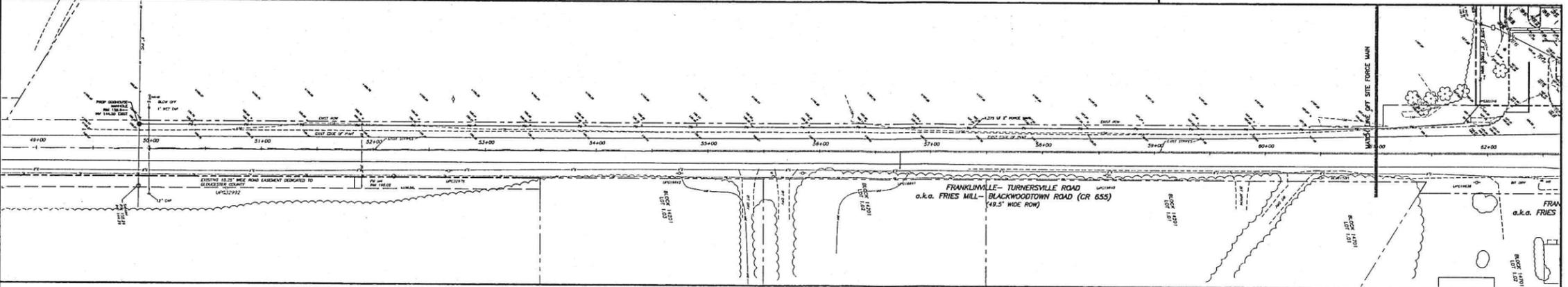


LEGEND

---	PROPERTY OUTBOUND
---	OUTBOUND/STREAM CENTERLINE
---	EXISTING RIGHT OF WAY
---	PROPOSED RIGHT OF WAY
---	EXISTING CENTERLINE
---	PROPOSED CENTERLINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING BLOCK NUMBER
---	PROPOSED BLOCK NUMBER
---	EXISTING LOT NUMBER
---	PROPOSED LOT NUMBER
---	EXISTING CONTOUR 1' INTERVAL
---	PROPOSED CONTOUR 1' INTERVAL
---	EXISTING CONTOUR 5' INTERVAL
---	PROPOSED CONTOUR 5' INTERVAL
---	PROPOSED FINISHED FLOOR ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED BOTTOM OF CURB ELEVATION
---	EXISTING STORM SEWER AND INLET
---	PROPOSED STORM SEWER & INLET
---	PROPOSED ROOF DRAIN
---	PROPOSED STORM CLEAN OUT
---	TEST PIT LOCATION
---	FLOW
---	HIGH POINT
---	LOW POINT
---	MATCHLINE
---	EXISTING SANITARY SEWER AND MANHOLE
---	PROPOSED 4" PVC SANITARY LATERAL
---	PROPOSED SANITARY SEWER AND MANHOLE
---	EXISTING WATER MAIN
---	PROPOSED CDDP WATER MAIN
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	EXISTING WATER METER
---	PROPOSED WATER METER
---	EXISTING WATER VALVE
---	PROPOSED WATER VALVE



ON SITE
SCALE: 1" = 30'



OFF SITE FORCE MAIN
SCALE: 1" = 40'

CONSTRUCTION NOTES

1. ALL CONSTRUCTION, MATERIALS, RESTORATIONS AND METHODS OF INSTALLATION IN COUNTY ROADS SHALL BE SUBJECT TO THE REQUIREMENTS AND APPROVAL OF COUNTY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE EXACT LOCATION OF THE FOLLOWING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY: LIGHTING POLES, ELECTRICAL TRANSFORMERS, ELECTRICAL SERVICE TO BUILDINGS, TELEPHONE AND CABLE TELEVISION BONES AND DISTRIBUTION SERVICES TO BUILDINGS, GAS MAINS, GAS SERVICE TO BUILDINGS, AS NEEDED FOR THE PROJECT. IF THERE ARE CONFLICTS, NOTIFY THE ENGINEER, IN WRITING, PRIOR TO INSTALLATION.
3. WHEREVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUSTAIN THE WEIGHT OF THE PIPE AND SUPERIMPOSED LOADS, IT SHALL BE OVER EXCAVATED AND STABILIZED WITH A 12 INCH THICK MINIMUM LAYER OF FINE GRAIN SAND OR EQUIVALENT.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROPOSED FACILITIES AND SHALL NOTIFY THE UTILITY COMPANY PRIOR TO THE SYSTEM PER LAWS, RULES AND REGULATIONS AT 1-800-272-1000. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATION.
5. CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
6. NO MATERIALS SHALL BE PLACED NOR ANY DISTURBANCE POINTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING, PAVING, TOPSOILING, SOONING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT, REPLACEMENT, AND ALL RESTORATION IN TOWNSHIP AND/OR COUNTY ROADS SHALL MEET THE REQUIREMENTS OF THE TOWNSHIP AND/OR COUNTY ENGINEER.
8. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE COUNTY OR TOWNSHIP ENGINEER SHALL BE NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND LAWS.
9. PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 251 OF THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.
10. ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE AND CABLE TELEVISION SHALL BE UNDERGROUND.
11. ALL WATER PIPING 4" AND LARGER SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE WITH PUSH-ON JOINTS. MEDIA LEG HEADERS CLASSES SHALL BE PROVIDED FOR D.I.P. FITTINGS. PIPING SMALLER THAN 3" SHALL BE TYPE "K" SOFT TEMPER COPPER TUBING WITH FLARED FITTINGS. WATER PIPING SHALL BE COMPLETED BY CONTACT WITH A CHLORINE SOLUTION NOT LESS THAN 50 PPM FOR NOT LESS THAN 24 HOURS. ALL WATER PIPING AND APPURTENANCES SHALL BE APPROVED BY THE UTILITY COMPANY PRIOR TO INSTALLATION.
12. ALL WATER PIPING TO BE PLACED AT A MINIMUM FINAL COVERAGE DEPTH OF 4'.
13. ALL WATER MAINS AND SANITARY OR INDUSTRIAL SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH EACH OTHER SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER TIGHT CONSTRUCTION (THAT IS, DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATER TIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
14. THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER MAIN BENDS.
15. NO SANITARY SEWER LATERALS SHALL BE CONNECTED DIRECTLY TO ANY MANHOLES.
16. I.V. INSPECTION, IF REQUIRED BY THE UTILITY AUTHORITY, OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED TO THE SATISFACTION OF THE UTILITY COMPANY ENGINEER PRIOR TO FINAL APPROVAL.
17. TRENCH BACKFILL SHALL BE COMPACTED TO 95% OF DRY DENSITY PER D-1557.
18. AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL COMPLETELY BACKFILL TRENCH.
19. THE ROADWAY SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY.
20. MANHOLE CASTINGS THAT MUST BE SAVED SHALL BE USING A MAXIMUM OF 3 PIR-CAST CONCRETE GRADE RINGS THAT COMPLY WITH C-478-90B.
21. SANITARY SEWER MANHOLES SET IN OTHER THAN PAVED AREAS SHALL HAVE LOCKING LIDS. (BRODSTATE PATTERN #1460A OR APPROVED EQUAL)

GENERAL SANITARY SEWER

1. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AT NO COST TO THE AUTHORITY INCLUDING BUT NOT LIMITED TO ROAD OPENING PERMITS FROM THE TOWNSHIP/BOARDSHIP, COUNTY AND STATE.
2. THE CONTRACTOR IS AWARE AND AGREES THAT THE REVIEW BY THE UTILITY AUTHORITY AND AUTHORITY ENGINEER IS BASED UPON THE BEST INFORMATION AVAILABLE AND IN NO WAY SHALL BE CONSIDERED A GUARANTEE OF THE LOCATION OF SUCH UTILITIES.
3. THE LOCATION AND DEPTH OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES OF PROPOSED EXCAVATION IN THE VICINITY OF SAID UTILITIES PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE ELECTRIC COMPANY/TELEPHONE COMPANY IN ADVANCE OF CONSTRUCTION FOR TEMPORARY SUPPORT OF UTILITY POLES.
6. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE PROPER TRAFFIC CONTROL TO THE SATISFACTION OF LOCAL COUNTY AND STATE AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING, PLANTINGS, ETC. IN KIND AND REPAIRING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPAIR/REPLACE AND ALL RESTORATION IN ALL DISTURBED AREAS SHALL MEET THE REQUIREMENTS OF THE ENGINEER.
8. ALL TRENCHES WILL BE BACKFILLED BY CONTRACTOR IN SIX (6) INCH STRIPS IN STRICT ACCORDANCE WITH THE TRENCH DETAILS AND SPECIFICATIONS.
9. THE CONSTRUCTION SITE MUST BE SWEEP AND CLEANED DAILY WITH NO TRENCHES OPEN DURING THE DAY.
10. ALL GENERAL CONSTRUCTION MATERIALS, TESTING AND METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE UTILITY AUTHORITY ENGINEER.
11. THE CONTRACTOR SHALL COMPLY WITH ALL STANDARDS SET FORTH IN THE UTILITY AUTHORITY'S RULES AND REGULATIONS AND THE "INSPECTION AND TESTING PROCEDURES MANUAL".
12. THE CONTRACTOR SHALL SUPPLY THE AUTHORITY ENGINEER WITH COMPLETE AS-BUILTS OF ALL UTILITY INSTALLATIONS AND APPURTENANCES PRIOR TO THE AUTHORITY ENGINEER WITNESSING TESTING OF THE SYSTEM.
13. ALL PROPOSED FORCE MAINS SHALL HAVE THRUST BLOCKS AT ALL BENDS.
14. ALL PVC FORCE MAINS SHALL BE INSTALLED WITH THRUST BLOC'S.
15. ALL SANITARY SEWER MAINS INSTALLED AT A DEPTH FROM 6 TO 12 FEET SHALL BE POLYETHYLENE GLASS REINFORCED (PFR) MEETING ASTM D3034, SIZE 33.5" X 4" I.D. WITH ALL LATERAL MANHOLES INSTALLED AT A DEPTH FROM 12 TO 20 FEET SHALL BE 30" X 30" PFR. ANY SEWER MAIN GREATER THAN 20 FEET SHALL BE CLASS 52 WITH PROTECTED HOUSING LINED BY U.S. PIPE OR EQUIV. "48" DIA. 30" I.D. PFR.
16. ALL SANITARY SEWER LATERALS SHALL BE POLYETHYLENE GLASS REINFORCED (PFR) MEETING ASTM D3034, SIZE 24" X 30". LOCATIONS AND SLOPES OF THE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
17. SANITARY SEWER LATERALS SHALL CONFORM TO STANDARD INSTALLATION REQUIREMENTS AND MAY NOT BE CONNECTED DIRECTLY INTO MANHOLES.
18. SANITARY SEWER MANHOLES SET IN LOCATIONS SUBJECT TO SHEET FLOWS OF WATER (E.G. GUTTER LINE OF ROAD) SHALL HAVE WATER TIGHT FRAME AND LID. BRODSTATE PATTERN #654H.
19. SANITARY SEWER MANHOLES SET IN OTHER THAN PAVED AREAS (GRAVEL BASEMENTS) SHALL HAVE LOCKING LIDS. BRODSTATE PATTERN #1460A "TWO SEAL" WITH LID MANHOLES.

NOTE:

1. SEE BUILDING PLANS FOR EXACT LOCATIONS OF WATER SERVICE AND SANITARY LATERAL LOCATIONS.
2. ROOF LEADERS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.

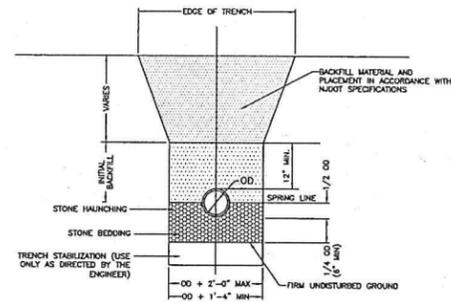
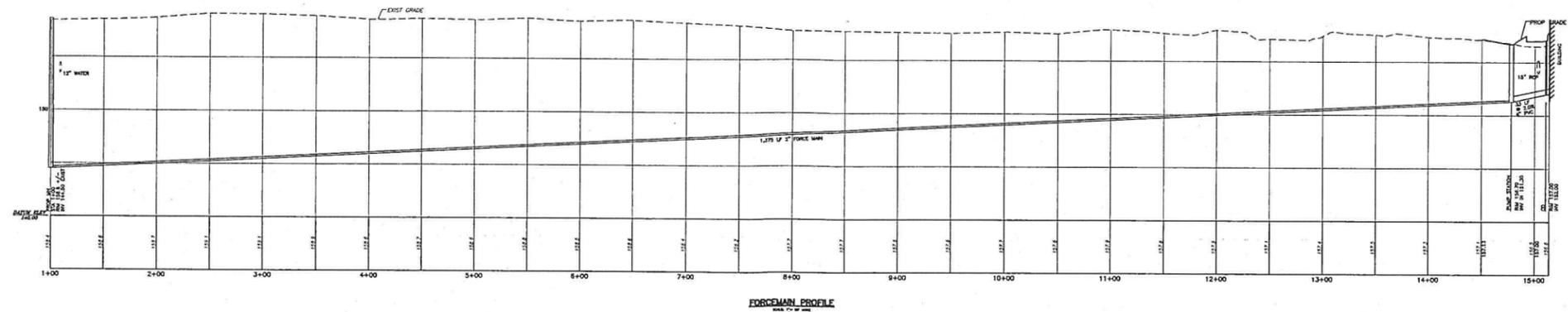
GRADING AND UTILITY PLAN
MONROE EQUITIES LLC
MONROE EQUITIES LLC
14801, LOT 12.01
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
FRANKLINVILLE, NJ
645 BELMONT CROSSING, SUITE 200
PHONE: (856) 238-2200 FAX: (856) 231-2348
WWW.CES-INC.COM



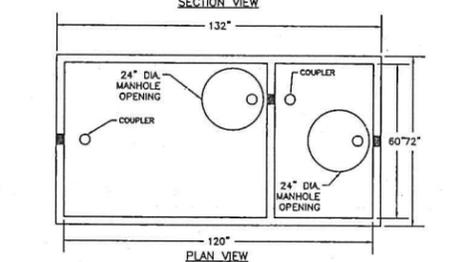
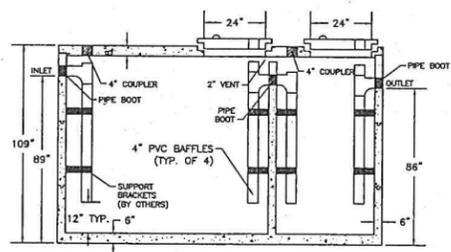
JAROD THOMAS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24605402900
DATE: 5-17-2020

DATE: 5-17-2020
DRAWN BY: J.T.



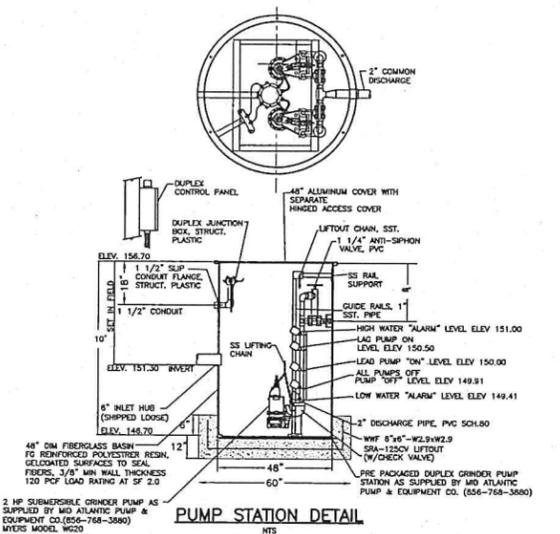
INITIAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION I-3 CONFORMING TO THE REQUIREMENTS OF ARTICLE 8.1.1, TABLE 36 OF THE STANDARD SPECIFICATIONS, 1995 SUPPLEMENT, OR STONE CRUSHINGS TO CONFORM WITH ASPHO DESIGNATION M-43-54 (1974) (ASTM DESIGNATION D44-54), SIZE NO. 5, 1/4" TO 3/8" (3.2mm TO 9.5mm) CLEAR, FREE FLOWING AND SHALL MEET ALL ASTM C-33 FOR QUALITY AND SOUNDNESS.

TRENCH DETAIL FOR PVC PIPE
N.T.S.



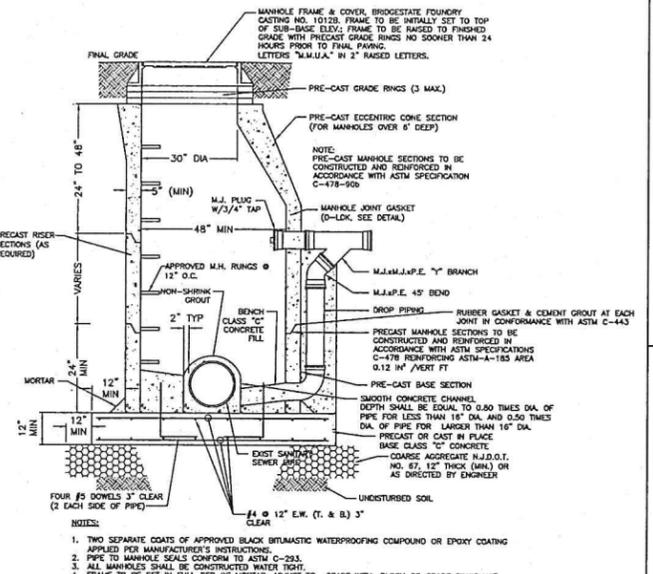
2500 GALLON 2-COMPARTMENT GREASE TRAP
N.T.S.

NOTES:
1. THIS TRAP MEETS OR EXCEEDS THE REQUIREMENTS OF N.J.A.C. 7:9A.
2. SIZE OF GREASE TRAP TO BE RE-EVALUATED AT TIME OF CONSTRUCTION ACCORDING TO THE NEEDS OF TENANTS.
3. MINIMUM CONCRETE STRENGTH - 4000 P.S.I. @ 28 DAYS REINFORCEMENT.
4. #4 REBAR 10" O.C.W. IN TOP AND BOTTOM.
5. WWF 3/4" SPACED AT 7" RUNNING HORIZONTALLY IN SIDES.
6. SECONDARY REINFORCEMENT SYNTHETIC FIBERS THROUGHOUT CONSTRUCTION JOINT - SEALED WITH CONCREAL CS-101 BUTYL RESIN SEALANT DESIGN.
7. INTERIOR & EXTERIOR COATINGS TO BE CONCRETE SEALANTS CS-35 WATER-BASED ACETIC COATING.
8. GREASE TRAP TO BE MODEL N2500CT-2C-1120 AS MANUFACTURED BY FLEMINGTON PRECAST (908-782-3448), OR APPROVED EQUAL.
9. GREASE TRAP SHALL BE CERTIFIED TO MEET H-20 LOADING CONDITIONS.



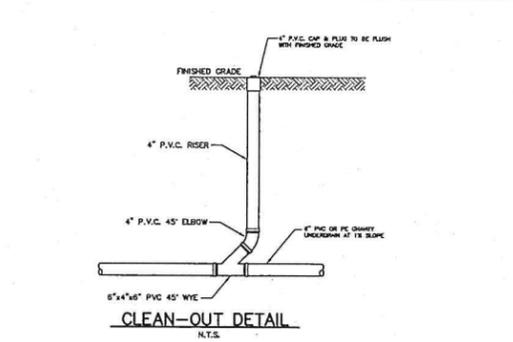
PUMP STATION DETAIL
N.T.S.

2 HP SUBMERSIBLE GRINDER PUMP AS SUPPLIED BY MID ATLANTIC PUMP & EQUIPMENT CO. (856-768-3880) MVSX MODEL W203 30.5 GPM @ 28' TDH

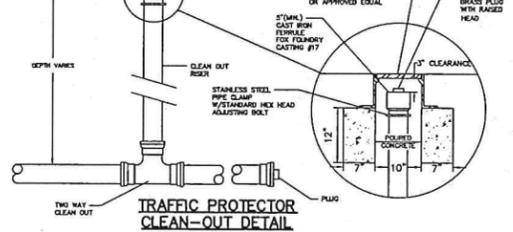


FORCE MAIN OUTSIDE DROP CONNECTION DOGHOUSE MANHOLE DETAIL
N.T.S.

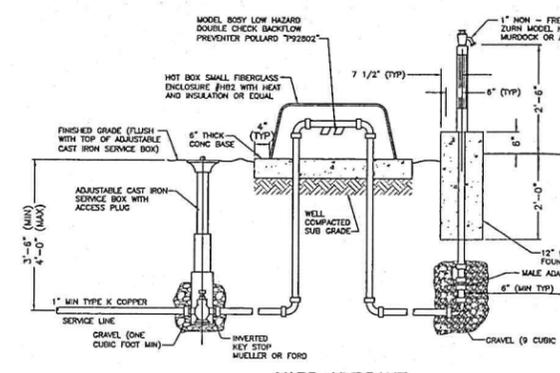
NOTES:
1. TWO SEPARATE COATS OF APPROVED BLACK BITUMASTIC WATERPROOFING COMPOUND OR EPOXY COATING APPLIED PER MANUFACTURER'S INSTRUCTIONS.
2. PIPE TO MANHOLE SEALS CONFORM TO ASTM C-293.
3. ALL MANHOLES SHALL BE CONSTRUCTED WATER TIGHT.
4. FRAME TO BE SET IN FULL BED OF MORTAR, ADJUST TO GRADE WITH BLOCK OR GRADE RINGS NOT TO EXCEED 12" IN HEIGHT.
5. MH COVER TO INCLUDE FULL DEPTH PICK HOLES AND DROP LIFT HANDLE.



CLEAN-OUT DETAIL
N.T.S.



TRAFFIC PROTECTOR CLEAN-OUT DETAIL
N.T.S.



YARD HYDRANT
N.T.S.

NOTE: ALL YARD HYDRANTS SHALL HAVE A DOUBLE CHECK VALVE ASSEMBLY BACKFLOW PREVENTER INSTALLED IN THE INCOMING WATER SERVICE LINE. SEE DETAIL.

d	MINIMUM SIZE OF CONCRETE THRUST BLOCKS		
	A	B	C
4" TEES & CROSSES	2'-0"	8"	1'-3"
6"	2'-0"	8"	1'-3"
8"	2'-0"	8"	1'-3"
10"	2'-0"	10"	2'-0"
12"	2'-0"	10"	2'-0"
90° BENDS	2'-0"	8"	1'-3"
45° BENDS	2'-0"	8"	1'-3"
22 1/2° BENDS	2'-0"	8"	1'-3"
REDUCERS	8"x4"	1'-8"	1'-0"
	8"x4"	2'-0"	1'-0"
	10"x6"	2'-4"	1'-3"
	10"x6"	2'-8"	1'-8"

THRUST BLOCK DETAIL
N.T.S.

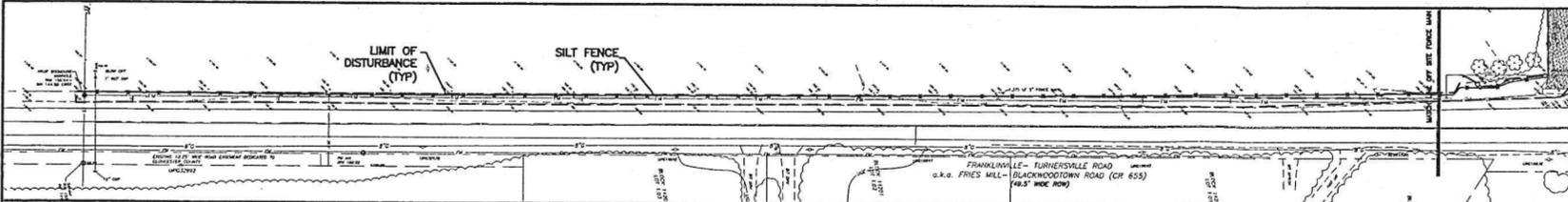
NOTES:
1. THRUST BLOCKS TO BE USED FOR WATER MAIN AND FORCE MAINS AT ALL BENDS, TEES, REDUCERS AND PLUGS.
2. BEARING AREAS FOR THRUST BLOCKS ARE BASED ON THE UNDISTURBED SOIL WITH BEARING CAPACITY OF 1000 LBS. PER SQ. FT. FOR OTHER SOILS OF LESS BEARING CAPACITY, THE AREAS SHALL BE ADJUSTED ACCORDINGLY. (FIG. 14, ASCE PIPELINE DESIGN FOR WATER AND WASTEWATER, 1973).
3. ALL CONCRETE FOR THRUST BLOCKS SHALL BE 3000 PSI COMPRESSIVE STRENGTH WITHIN 28 DAYS.
4. THE THRUST BLOCKS SHALL BE POURED FROM FITTING SUCH THAT THEY BEAR ON THE UNDISTURBED WALL OF THE TRENCH.
5. THE INDICATED CONTACT BEARING AREAS LISTED ARE FOR HORIZONTAL AND DOWNWARD THRUST ONLY AND ARE NOT APPLICABLE FOR UPWARD THRUST.

DATE: 5-12-2020
JAROD THOMAS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE05402900

UTILITY DETAILS
MONROE EQUITES LLC
PLATE 148, BLOCK 14801, LOT 12.01
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-1100 FAX (609) 426-1101
WWW.ME-LLC.COM

DATE: 02/23/2020 SCALE: NTS CEE No. 1888-01 FILE No. 1888-01-0101 DWN BY: JAT



OFF SITE
SCALE: 1"=50'

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE BIDDING. IF THE SEASON PROMPTS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROMOTE CONTINUATION OF LIME, FERTILIZER AND SEED APPLICATION AND DATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXITS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A STABILIZED FILTER FABRIC (SEE DETAIL). THE BASH MUST BE MAINTAINED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
16. N.J.S.A. 4:24-39, ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PORTIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND RESTORANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION. IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING, ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN RISE SULFIDES OR HAVE A pH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATING AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

STANDARDS FOR DUST CONTROL

DURING CONSTRUCTION ACTIVITY, THE FOLLOWING METHODS SHOULD BE CONSIDERED:

- A. CALCIUM CHLORIDE - SHALL BE IN LOOSE DRY GRANULAR FORM FINE ENOUGH TO USE IN A STANDARD SEED SPREADER, AT A RATE THAT WILL KEEP THE SUBJECT SURFACE MOIST, BUT NOT CAUSE PLANT DAMAGE OR POLLUTION BY SATURATION, IF USED ON SLEEP SLOPES OTHER MEASURES SHALL BE TAKEN TO PREVENT MIXING INTO STRAINS, STORM SEWERS OR ACCUMULATING AROUND PLANT LIFE.
- B. SPRINKLING - SHALL BE OF HIGH-CONTAMINATED WATER SPRINKLED AT A RATE TO WET THE SUBJECT SURFACE, BUT NOT TO CAUSE EROSION OR FLOODING/IMPONDMENT.
- C. OTHER METHODS ACCEPTABLE ARE LISTED IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE STATE OF NEW JERSEY" ISSUE JULY 1999, SECTION 16 (DUST CONTROL).

CONSTRUCTION SEQUENCE

1. MOBILIZATION	2 DAYS
2. CONSTRUCT TEMPORARY SOIL EROSION & SEDIMENT CONTROL FACILITIES	2 DAYS
3. CLEAR AND CRUP SITE AND ROUGH GRADING	1 WEEK
5. CONSTRUCT AND MAINTAIN TEMPORARY COVER TO STABILIZE DISTURBED AREAS	2 DAYS
6. CONSTRUCT UTILITIES	1 WEEK
7. CONSTRUCT CURBING AND SIDEWALK	1 WEEK
8. CONSTRUCT BASE COURSE FOR PARKING	2 DAYS
9. CONSTRUCT BUILDING, FINAL PAVEMENT, AND PERMANENT SEEDING AS COMPLETED	4 MONTHS
10. COLLECT SILT & SEDIMENT AND PLACE ON SITE	1 DAYS
11. ESTABLISH PERMANENT COVER AND LANDSCAPE	2 DAYS
12. REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES	1 DAYS
TOTAL ESTIMATED TIME OF CONSTRUCTION	6 MONTHS ±

TEMPORARY SOIL STABILIZATION COVER

PRIOR TO HALTING CONSTRUCTION FOR PERIODS LONGER THAN 30 DAYS AND DURING THE OFF SEASON, THE CONTRACTOR SHALL STABILIZE WITH TEMPORARY VEGETATIVE COVER AND ALL EXPOSED SOILS. TEMPORARY VEGETATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS:

1. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 LBS/ACRE OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT. IF SEED IS DRILLED OVER BANDED FERTILIZER, THE RATE OF FERTILIZER MAY BE REDUCED BY 50%.
2. LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
3. MULCHING SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNWEIGHTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SF), EXCEPT THAT WHERE CHIMNEY IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE DOUBLED. MULCH SHALL BE SPREAD UNIFORMLY SO THAT APPROXIMATELY 75% TO 85% OF THE SOIL SURFACE WILL BE COVERED.
4. MULCH SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY:
 - A. LIQUID MULCH BINDERS-MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCHES.
 - B. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
5. USE ONE OF THE FOLLOWING:
 - 1) ORGANIC AND VEGETABLE BASED BINDERS-NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MESHWORK NETWORKS OF RESILIENT FIBERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY INHIBITED AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPED GROWTH OF TURF-GRASS. USE AT RATES AND MATERIALS CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO AVOID MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - 2) SYNTHETIC BINDERS-HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
 - 3) WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
6. MULCH MAY BE USED IN PLACE OF TEMPORARY SEEDING IF SPREAD AT A RATE OF 2.0 TO 2.5 TONS PER ACRE AND ANCHORED AS DISCUSSED ABOVE. A MULCH ANCHORING TOOL MAY BE USED WHERE CONDITIONS PERMIT. TOOL PENETRATION SHALL BE DONE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHALL BE DONE ON THE CONTOUR.
7. TEMPORARY SEED MIX SHALL BE PERENNIAL RYEGRASS WITH A RATE OF 40 LBS/ACRE OR 1 LBS SF SEED MIX SHALL BE APPLIED UNIFORMLY. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED EXCEPT FOR DRILLED, HYDROSEEDING OR GEL PACKED SEEDING. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY BARRING OR DRAGGING.
8. SEEDING MIX SHALL BE APPLIED BETWEEN 3/1 - 5/15 OR 8/15 - 10/1 WHEN REQUIRED. IF STABILIZATION IS REQUIRED OUTSIDE THESE SEEDING DATES, MULCH SHALL BE USED AS DEFINED ITEM NO. 6.

PERMANENT SOIL STABILIZATION COVER

PERMANENT VEGETATIVE COVER IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE COVER. ALL EXPOSED AND DISTURBED SOILS, PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:

1. TOPSOILING: THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 4 INCHES. TOPSOIL SHALL BE FERTILE AND LIGHT AND OF GOOD QUALITY. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
2. FERTILIZERS SHALL BE APPLIED AT A RATE OF 500 LBS OR 11 LBS/1000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES.
3. LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES UNTIL A REASONABLY UNIFORM, FINE SEEDING PREPARED.
4. MULCHING SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNWEIGHTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1 1/2 TO 2 TONS PER ACRE (70 LBS TO 90 LBS/1000 SF), EXCEPT THAT WHERE A CHIMNEY IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE 3 TONS/ACRE.
5. MULCHING SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY THE FOLLOWING METHOD: LIQUID MULCH BINDERS.
6. PERMANENT SEED MIX SHALL BE:

PERMANENT SEED MIX	
SOS SEED MIX #14	RATE (LBS/ACRE)
TALL FESCUE	285
KENTUCKY BLUEGRASS (BLEND)	20
PERENNIAL RYEGRASS (BLEND)	20

7. ALL SEEDING, STABILIZATION, ETC TO BE AS SPECIFIED IN "STANDARDS FOR SOIL EROSION/SEDIMENT CONTROL IN NEW JERSEY".

PERMANENT SEEDING MIX SHALL BE APPLIED BETWEEN 2/1-4/30 AND 8/15-10/30.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE EXCESSIVE COMPACTION AREA DENOTED ON THE PLAN (EXCLUDING EXISTING AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

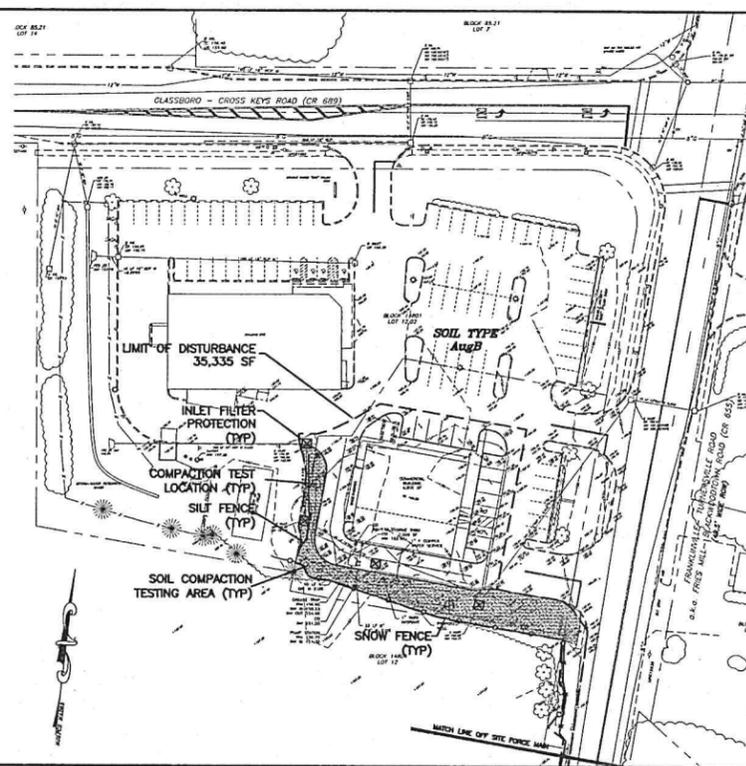
- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

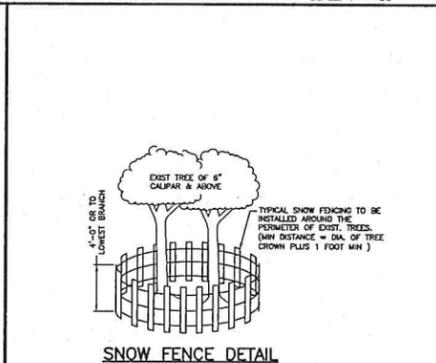
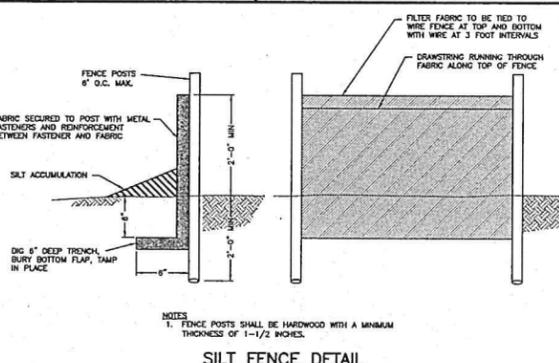
PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION ERROR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

LEGEND

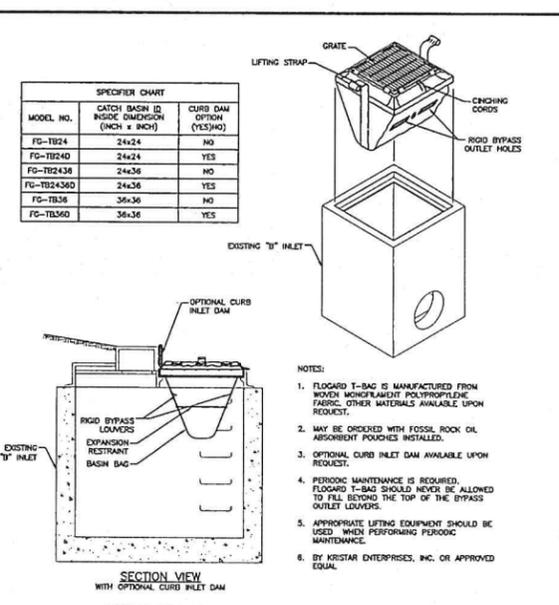


ON SITE
SCALE: 1"=50'



SILT FENCE DETAIL
NTS

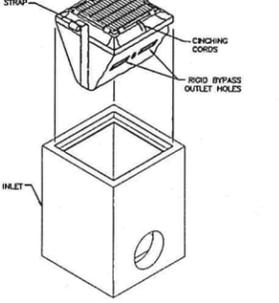
SNOW FENCE DETAIL
NTS



TEMPORARY INLET PROTECTION DEVICE
NTS

SPECIFIER CHART

MODEL NO.	CATCH BASIN ID INSIDE DIMENSION (INCH x INCH)	CURB DAM OPTION (YES/NO)
FG-TB24	24x24	NO
FG-TB24D	24x24	YES
FG-TB2436	24x36	NO
FG-TB2436D	24x36	YES
FG-TB36	36x36	NO
FG-TB36D	36x36	YES



- NOTES:
1. FLO-RAD T-BAG IS MANUFACTURED FROM WOVEN MONOGRAMMED POLYPROPYLENE FABRIC. OTHER MATERIALS AVAILABLE UPON REQUEST.
 2. MAY BE ORDERED WITH FOSSIL ROCK OIL ABSORBENT POUCHES INSTALLED.
 3. OPTIONAL CURB INLET DAM AVAILABLE UPON REQUEST.
 4. PERIODIC MAINTENANCE IS REQUIRED. FLO-RAD T-BAG SHOULD NEVER BE ALLOWED TO FILL BEYOND THE TOP OF THE BYPASS OUTLET LOUVERS.
 5. APPROPRIATE LIFTING EQUIPMENT SHOULD BE USED WHEN PERFORMING PERIODIC MAINTENANCE.
 6. BY KRISTAR ENTERPRISES, INC. OR APPROVED EQUAL.

5-12-2020
DATE

JAROD THOMAS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E05409900

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT

SOIL EROSION SEDIMENT CONTROL PLAN AND DETAILS
MONROE EQUIMES LLC
PLATE 148, BLOCK 14801, LOT 12.01
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING SERVICES
PROFESSIONAL ENGINEERS, PLANNERS & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, STICKERVILLE, NEW JERSEY 08081
PHONE (609) 426-1111 FAX (609) 426-1112
WWW.EQUIMES.COM
DATE: 05/12/2020 SCALE: 1"=50' CDE NO. 1888-04, FILE NO. 1888-04-02581 DRAWN BY: JLS



Project: 1888-04-02581-01 (1888-04-02581-01) 05/12/2020 11:40 AM, User: JLS

