

**MAYOR:**

RICHARD DILUCIA

**TOWNSHIP COMMITTEE:**

- COUNCILMAN JOE MARINO
- COUNCILMAN PATRICK O'REILLY
- COUNCILMAN MARVIN DILKS
- COUNCILWOMAN KATHERINE FALCONE
- COUNCILMAN RON GARBOWSKI
- COUNCILMAN GREG WOLFE
- COUNCILMAN CODY D. MILLER

**TOWNSHIP ADMINISTRATION:**

BUSINESS ADMINISTRATOR JILL MCCREA  
 TOWNSHIP CLERK AILEEN CHISELKO

# MONROE TOWNSHIP DOG PARK

## PERMIT SITE PLANS

GLOUCESTER COUNTY, NEW JERSEY

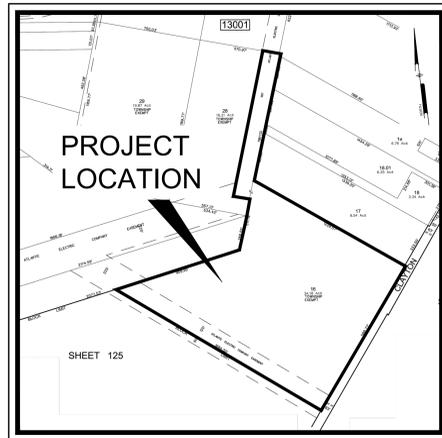
BLOCK 130001, P/O LOT 16 & 28

PREPARED FOR:

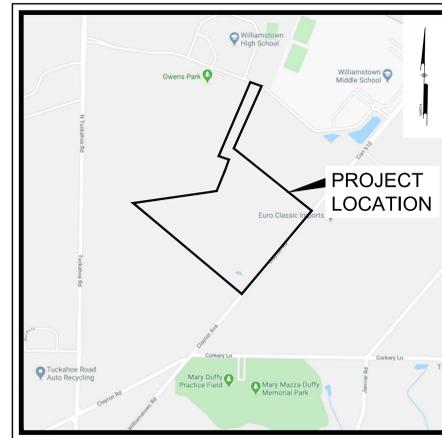
### TOWNSHIP OF MONROE

125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

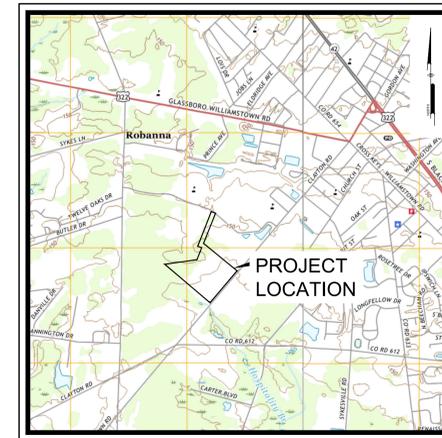
Sheet Number	Sheet Description	Sheet Title	Drawing Date
1	CS0001	COVER SHEET	2020-07-31
2	CS0002	GENERAL NOTES	2020-07-31
3	CS0201	EXISTING CONDITIONS PLAN	2020-07-31
4	CS0501	DEMOLITION PLAN	2020-07-31
5	CS1001	SITE PLAN	2020-07-31
6	CS1501	GRADING & UTILITY PLAN	2020-07-31
7	CS2001	LANDSCAPE PLAN	2020-07-31
8	CS3001	PLAN & PROFILE ACCESS DRIVE	2020-07-31
9	CS3002	PLAN & PROFILE ACCESS DRIVE II	2020-07-31
10	CS6001	CONSTRUCTION DETAILS	2020-07-31
11	CS6002	CONSTRUCTION DETAILS II	2020-07-31
12	CS6003	CONSTRUCTION DETAILS III	2020-07-31
13	CS8001	SOIL EROSION AND SEDIMENT CONTROL PLAN	2020-07-31
14	CS8501	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	2020-07-31



**TAX MAP**  
 Scale: 1" = 500'



**LOCATION MAP**  
 Scale: 1" = 1000'



**USGS MAP**  
 Scale: 1" = 2000'

PREPARED BY:

### PENNONI ASSOCIATES INC.



515 Grove Street, Suite 1B  
 Haddon Heights, NJ 08035  
 T 856.547.0505  
 F 856.547.9174

NJ CERTIFICATE OF AUTHORIZATION NO. GA28033300

NEW JERSEY



**CALL BEFORE YOU DIG**  
 1-800-272-1000

CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS STATED IN THE "UNDERGROUND FACILITY PROTECTION ACT". TICKET NUMBER(S):



**ANDREW T. BANFF**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 0E 46121  
 07/31/2020

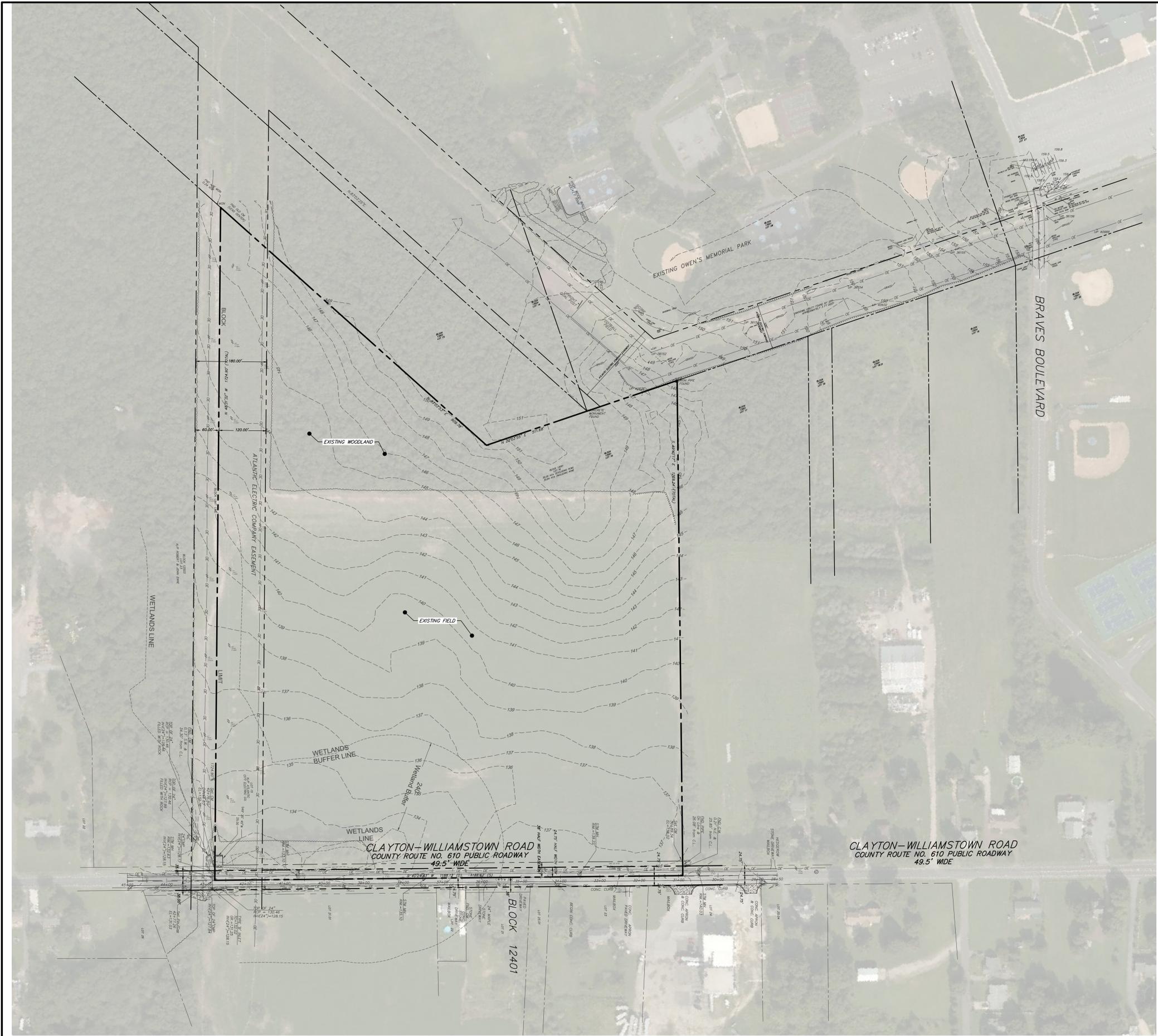
MONROE TOWNSHIP DOG PARK  
 BLOCK 130001, P/O LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY  
 COVER SHEET  
 TOWNSHIP OF MONROE  
 125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	REVISIONS	BY

PROJECT	MTSPX20052
DATE	JULY 31, 2020
DRAWING SCALE	AS NOTED
DRAWN BY	BM
APPROVED BY	ATB
<b>CS0001</b>	
SHEET	1 OF 14

**NOT FOR CONSTRUCTION**





**NOTES:**

- FOR GENERAL NOTES SEE SHEET CS0002.
- EXISTING INFORMATION SHOWN FOR BLOCK 13001, LOT 16, 24 & 28, IS OBTAINED FROM A FILED SURVEY TITLED "TOPOGRAPHIC SURVEY", SIGNED AND SEALED BY KEITH M. LUDWIG, WAS PERFORMED BY PENNONI ASSOCIATES ON JUNE 12, 2020.
- EXISTING INFORMATION SHOWN FOR BLOCK 13001, LOTS 16 AND 28 BASED ON FIELD SURVEYS PERFORMED BY ARH ASSOCIATES ON JULY 11, 2017, SIGNED AND SEALED BY RICHARD A. HEGGAN.
- IT IS THE RESPONSIBILITY OF ALL DESIGNERS & CONTRACTORS UTILIZING THIS PLAN & THE INFORMATION CONTAINED THEREON TO CALL THE NJ ONE-CALL SYSTEM AT 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY, RECORD PLANS, AND EXISTING DRAWINGS. PENNONI MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA.

**Pennonni**  
**PENNONI ASSOCIATES, INC.**  
 515 Grove Street, Suite 1B  
 Haddon Heights, NJ 08035  
 T 856.547.0605 F 856.547.9174  
 NJ COA NO. GA26833500

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

**ANDREW T. BANFF**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. JCE 45121  
 07/31/2020

**MONROE TOWNSHIP DOG PARK**  
 BLOCK 13001, PLO LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY

**EXISTING CONDITIONS PLAN**

TOWNSHIP OF MONROE  
 1125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	REVISIONS	BY

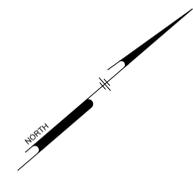
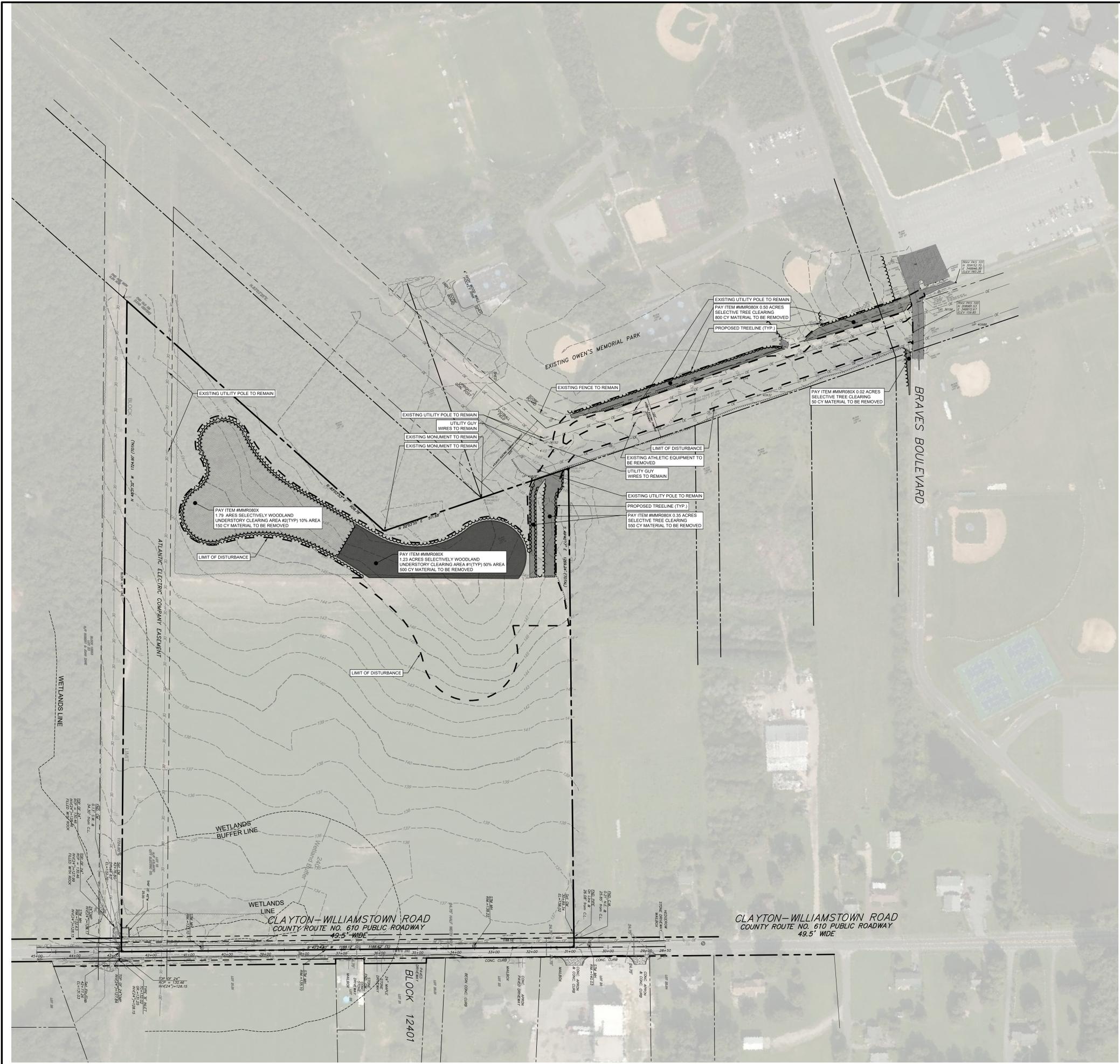
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SEPARABLE FROM THE PROJECT OR THE PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY ON ACCOUNT OF EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: MTSPX20052  
 DATE: JULY 31, 2020  
 DRAWING SCALE: 1"=100'  
 DRAWN BY: BM  
 APPROVED BY: ATB

**CS0201**  
 SHEET 3 OF 14

0 100' 200' **NOT FOR CONSTRUCTION**

PROJECT STATUS:   
 DATED: 8/20/2018 10:48 AM BY: BARRY V. PLATONIC, PENNONI ASSOCIATES, INC.   
 C:\Users\atb\OneDrive\Documents\Pen\CS0201.dwg



0 100' 200' **NOT FOR CONSTRUCTION**

- NOTE:**
- SELECTIVE UNDERSTORY CLEARING IS DEVOTED HEREON THAT WILL BE FILED DIRECTED BY ENGINEER. SELECTIVE CLEARING INVOLVE THE REMOVAL OF CERTAIN GROUND COVER, INCLUDING LEAVES, BRANCHES, UNDERBRUSH, TREE TRIMMING. CERTAIN AREAS WILL BE LEFT UNTOUCHED SUCH THAT CLEARED AREAS FROM PATHS, TRAILS AND OTHER CLEARED AREAS.
  - PAYMENT IS BASED ON THE VOLUME OF THE UNDERSTORY TO BE REMOVED. ESTIMATED MAXIMUM VOLUME OF MATERIAL IS BASED UPON THE FOLLOWING CALCULATION: % OF AREA TO BE SELECTIVELY CLEARED MULTIPLIED BY TOTAL AREA MULTIPLIED BY 6 INCHES.
  - AREA #1 SHALL HAVE MORE UNDERSTORY CLEARING WITHIN THE FENCED AREAS.
  - AREA #2 WILL BE LESS INTENSIVE CLEARING WITH 90% OF AREA TO REMAIN UNTOUCHED.

**MONROE TOWNSHIP DOG PARK**  
 BLOCK 13001, PLO LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY

**DEMOLITION PLAN**

TOWNSHIP OF MONROE  
 1125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	NO.	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OF PENNONI ASSOCIATES, INC. OR PENNONI ASSOCIATES, INC. IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY ON BEHALF OF PENNONI ASSOCIATES, INC. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **MTSPX20052**  
 DATE: **JULY 31, 2020**  
 DRAWING SCALE: **1"=100'**  
 DRAWN BY: **BM**  
 APPROVED BY: **ATB**





**PLANTING NOTES**

- ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS.
- INSTALL 12" MINIMUM TOPSOIL MIXTURE IN GROUNDCOVER BEDS AND 24" IN SHRUB BEDS AND ISLANDS. 6" OF TOPSOIL ARE TO REMAIN ON ALL DISTURBED AREAS TO RECEIVE SOO OR SEED.
- NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE DEVELOPER IS RESPONSIBLE FOR THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN.
- ALL PLANT MATERIAL SHALL BE OF NURSERY STOCK QUALITY AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND SHALL BE FIRST QUALITY NURSERY GROWN STOCK FREE OF DISEASE AND OBJECTIONABLE DISFIGUREMENTS AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE CITY STANDARDS.
- ALL NON-BIODEGRADABLE ROOT WRAPPING TO BE REMOVED COMPLETELY BEFORE PLANTING.
- ALL TREES SHALL BE BALLED AND BURLAPPED, NURSERY GROWN STOCK.
- ALL PLANT MATERIAL AND LAWNS SHALL BE PLANTED WITHIN THE RECOMMENDED SEASONAL TIME PERIODS AS PRESCRIBED BY ACCEPTED HORTICULTURAL PRACTICE. RECOMMENDED PLANTING TIMES ARE BETWEEN APRIL 15TH THRU MAY 31ST OR AUGUST 17TH THRU OCTOBER 15TH. FALL DIGGING AND TRANSPLANT HAZARD TREE SPECIES (OAKS ETC.) SHALL BE ONLY BE DUG AND PLANTED IN SPRING.
- ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE, UNLESS OTHERWISE NOTIFIED.
- PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- A TEMPORARY FENCE, SUCH AS SNOW FENCE, SHALL BE ERRECTED AT THE PERIMETER OF THE DRIPLINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN. PRIOR TO EXCAVATION, CONSTRUCTION OR SITE WORK. THIS FENCE SHALL BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
- EXISTING TREES TO BE RELOCATED SHALL BE HANDLED ACCORDING TO ACCEPTABLE HORTICULTURE PRACTICE.
- ALL DISTURBED AREAS NOT SHOWN AS PLANTED OR LAWN SHALL BE TOPSOILED AND SEEDED OR RETURNED TO THEIR ORIGINAL STATE BEFORE DISTURBANCE AS DIRECTED BY THE CITY ENGINEER.
- ALL AREAS NOT RELATED TO HE PROPOSED DEVELOPMENT SHALL REMAIN IN THEIR NATURAL STATE. DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO WORK AREA AND AS DEFINED ON DWGS. CS8501-04 AND CS801.
- ADDITIONAL LANDSCAPING APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED BY THE APPLICANT TO REPALCE ANY VEGETATION IN ADVERTENTLY REMOVED OUTSIDE THE LIMIT OF DISTURBANCE LINE AS SHOWN ON THE APPROVED GRADING PLAN DURING CONSTRUCTION.
- PROPOSED TREES SHALL NOT BE PLANTED WITHIN EASEMENTS, DRIVEWAYS AND SITE TRIANGLES. THEREFORE, THE TREE LOCATIONS SHALL BE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD AS REQUIRED.
- ALL SHADE TREES IN PEDESTRIAN WALKS AREAS SHALL HAVE AN INITIAL LIMBS PRUNED STARTING AT A MINIMUM OF 7 FT. ABOVE FINISHED GRADE.
- ALL TREES SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
- PLANTS ARRANGED IN CONTINUOUS GROUPINGS SHALL BE SET IN MULCHED BEDS.
- PLANTING DEBRIS SHALL BE REMOVED FROM THE PROPERTY.
- ANY LIVE TREE WHICH IS SUBSTANTIALLY DAMAGED AS A RESULT FO GRADING OR GENERAL CONSTRUCTION MUST BE REMOVED AND REPLACED WITH ANOTHER TREE OR TREES AS APPROVED BY THE CITY ENGINEER.
- TREE REMOVAL FROM ANY SLOPE OR ENVIRONMENTALLY SENSITIVE AREA IS PROHIBITED IF IT WILL CONTRIBUTE, IN THE OPINION OF THE CITY ENGINEER, TO EXTRA RUNOFF OF SURFACE WATER ONTO ADJOINING PROPERTY AND EROSION AND SILTING, UNLESS OTHER MEANS APPROVED BY THE CITY ENGINEER ARE PROVIDED TO PREVENT RUNOFF AND EROSION.
- NO HEALTHY TREE THAT IS SPECIAL BY VIRTUE OF HISTORY, UNUSUAL SIZE, OR AGE OR OF RAE SPECIES, SHALL BE REMOVED EXCEPT AS MAY BE REQUIRED FOR PROTECTION OF PUBLIC HEALTH, SAFETY AND WELFARE.
- SELECTED EXISTING HEALTHY TREES SIX (6) INCHES IN CALIPER OR LESS MEASURED FOUR (4) FEET ABOVE THE GROUND SHALL BE RELOCATED ON-SITE UNDER THE DIRECTION AND APPROVAL OF THE CITY ENGINEER.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT AND REGULAR GROWTH OF PLANTS.
- ALL SHRUBS SPACED 7 FT. O.C. OR CLOSER SHALL BE IN CONTINUOUS MULCHED BEDS.
- SEED ALL DISTURBED AREAS WITH REQUIRED SEED MIX (SEE DWG. CS8501 FOR SEEDING MIX SCHEDULE).
- TREES SHOULD BE PLANTED A MIN. OF FIVE (5) FEET FROM SIDEWALKS UNLESS IN TREE PITS.
- GUY WIRES AND STAKES WILL ONLY BE UTILIZED IF CONDITIONS MERIT AND WILL BE REMOVED BY THE DEVELOPER AT THE END OF THE GUARANTEE PERIOD.
- PLANT MATERIAL GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM DATE OF INSTALLATION, ANY AND ALL PLANT MATERIAL THAT DIES OR FAILS TO THRIVE SHALL BE IMMEDIATELY REPLACED WITH LIKE SPECIES BY THE CONTRACTOR AND SHALL BE IN HEALTHY AND VIGOROUS CONDITION FROM THE DATE OF ACCEPTANCE. IT IS UNDERSTOOD THAT THE CONTRACTOR WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD TO THE HIGHEST HORTICULTURAL STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL PROPOSED PLANTINGS BY PROVIDING THE CORRECT WEEDING, SPRAYING, WATERING, PRUNING AND FERTILIZING.

**SEEDING NOTES**

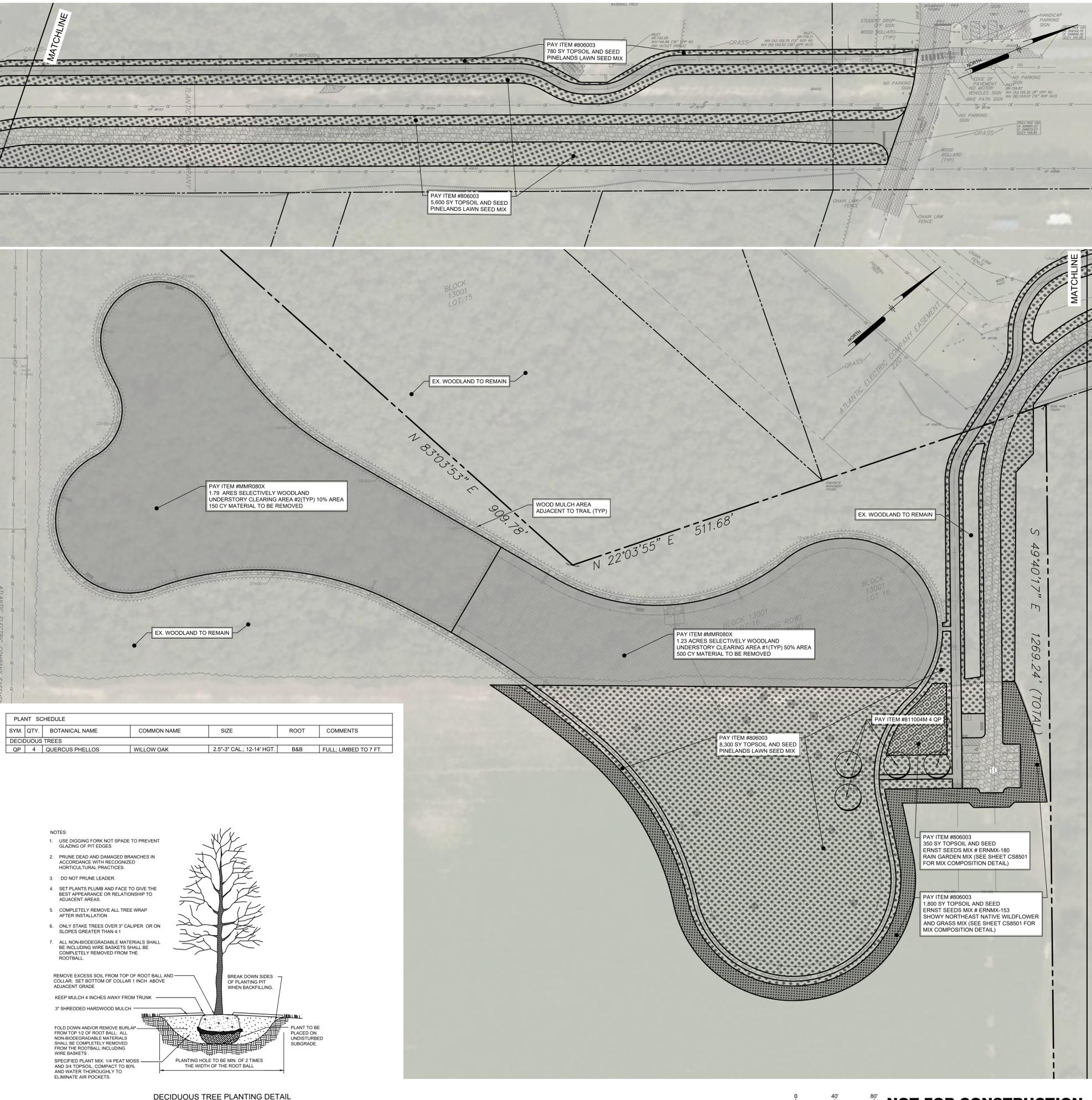
- SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE CONTAINING PLANTING BEDS, SIDEWALKS, BUILDINGS, ETC.
- BEFORE SEEDING, CONTRACTOR SHALL PROVIDE SOIL TESTS AND INCORPORATE NECESSARY SOIL AMENDMENTS PER SOIL TEST RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE A GROUND CLEAR HERBICIDE UPON STRIPING AND CLEARING THE SITE. CLEARED PORTION OF THE SITE SHALL BE LEFT IDLE FOR TWO WEEKS, WHEREAS THE CONTRACTOR TO APPLY SECOND APPLICATION OF GROUND CLEAR HERBICIDE.
- PERFORM ALL FINISH GRADING WITHIN AREAS OF DISTURBANCE, NECESSARY TO BRING SITE TO REQUIRED FINISHED ELEVATIONS. FINISH GRADING SHALL CONSIST OF PREPARING SUBGRADE AND SPREADING TOPSOIL READY FOR SEEDING OPERATIONS.
- TOPSOIL SHALL BE UNIFORMLY SPREAD IN DISTURBED AREAS WITH BLADE GRADER, OR BY ANY OTHER APPROVED METHOD, TO A MINIMUM DEPTH OF 8 INCHES TO PERMIT 1 INCH OF SETTLEMENT. CORRECT ANY SURFACE IRREGULARITIES TO PREVENT FORMATION OF LOW SPOTS AND POCKETS THAT WOULD RETAIN WATER. PRIOR TO FINE GRADING, REMOVE ALL EXISTING ANNUAL TYPE VEGETATION.
- SOW SEED AT THE RECOMMENDED SEEDING RATE AS SHOWN IN THE SEEDING MIX SCHEDULE AS NOTED ON VEGETATION CONTROL PLANS.
- SEED SHALL BE APPLIED APRIL 15TH THRU MAY 31ST OR AUGUST 17TH THRU OCTOBER 15TH.
- ON ALL SLOPES 3:1 OR GREATER, USE AN ORGANIC SOIL STABILIZER SUCH AS 'CON-TACK' OR EQUAL AT THE RATE OF 25 LBS PER 1,000 GALLONS OR AT RATES RECOMMENDED BY THE MANUFACTURER.
- KEEP NEWLY SEEDED GRASS AREAS MOISTENED DURING SEED GERMINATION AND UNTIL THE GRASS COVERS AT LEAST 75% OF THE SEEDED AREAS TO A HEIGHT OF 2 TO 3 INCHES.
- ALL AREAS AND SPOTS, WHICH DO NOT SHOW A PROMPT CATCH OF GRASS, SHALL THEN BE RE-SEEDED, AND THE OPERATION REPEATED UNTIL COMPLETE COVERAGE IS OBTAINED.
- SEE DWG. CS8501 FOR SEEDING SPECIFICATIONS AND RATES.
- CONTRACTOR TO PREVENT GROWTH OF WEEDS AFTER APPLICATION AND GERMINATION.

**LANDSCAPE MAINTENANCE NOTES**

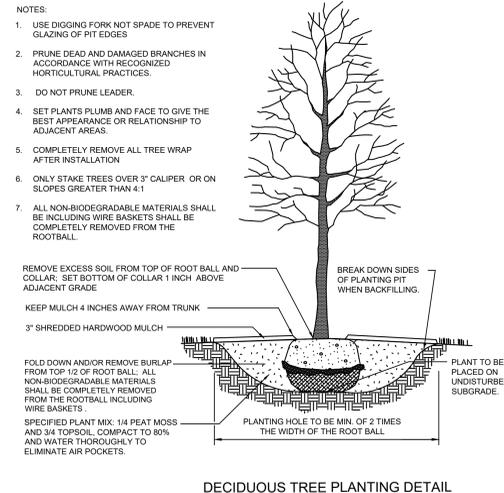
- THE CONTRACTOR AND AGENTS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THE PLAN DURING THE GUARANTEE PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SITE VEGETATION DURING THE GUARANTEE PERIOD. TO INCLUDE BUT NOT BE LIMITED TO:
  - FERTILIZER:** SPRING AND FALL FERTILIZER APPLICATIONS.
  - PRUNING:** PRUNING SHALL BE LIMITED OR REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DIFFERENCES/SAFETY REASONS. PRUNING OF SHRUBS AND TREES SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
  - PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR MOWN LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
  - MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 3" IN PLANT BEDS AND AROUND BASE OF TREES.
  - MOWING:** MOWN LAWN SEED MIX SHALL BE MOWN AT REGULAR INTERVALS THROUGHOUT THE GROWING SEASON. GRASS HEIGHT SHOULD NOT EXCEED 4 INCHES BEFORE CUTTING. MOWER BLADES SHALL BE SET AT 3 INCHES UNLESS OTHERWISE DIRECTED.
  - PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
  - WATERING:** UNLESS STATED OTHERWISE IN THESE DOCUMENTS, PROVIDE APPROXIMATELY 1-INCH OF RAINFALL/WATER PER WEEK THROUGHOUT THE GROWING SEASON FOR THE FIRST YEAR.
- PERENNIAL AND GROUNDCOVER MAINTENANCE**
- WEED CONTROL CAN BE A PROBLEM UNTIL THE GROUNDCOVERS/PERENNIALS HAVE SPREAD AND FILLED IN THE AREA. CONTROL OF PERSISTENT, PERENNIAL WEEDS, SUCH AS BERBERISGRASS AND WILTBASS SHOULD BE ACHIEVED BEFORE PLANTING. USE A NONSELECTIVE HERBICIDE, SUCH AS ROUNDUP. A MULCH APPLIED AFTER PLANTING AND REPLISHED AS NEEDED TO MAINTAIN A DEPTH OF 3 INCHES WILL REDUCE THE NEED TO WEED BY HAND. PRE-EMERGENT HERBICIDES CAN BE USED ON MANY TYPES OF GROUNDCOVER TO AID WEED CONTROL. READ THE LABEL CAREFULLY BEFORE APPLYING. AS THE GROUNDCOVER FILLS IN WEEDS WILL BECOME LESS OF A PROBLEM BECAUSE OF THE SHADDED SOIL. SOME HAND WEEDING WILL MOST LIKELY BE NEEDED.
  - FERTILIZER - MOST GROUNDCOVERS WILL BENEFIT FROM AN APPLICATION OF FERTILIZER IN LATE WINTER TO EARLY SPRING. USE 2 TO 4 POUNDS OF A COMPLETE FERTILIZER PER 1,000 SQUARE FEET. WATER OR BRUSH FERTILIZER OFF THE FOLIAGE AFTER BROADCASTING.

**LEGEND**

- PROPOSED SHADE TREE
- PROPOSED TOPSOIL AND SEED PINELAND SEED MIX
- PROPOSED ERNST SEEDS MIX # ERNMx-153 SHOWY NORTHEAST NATIVE WILDFLOWER AND GRASS MIX
- PROPOSED ERNST SEEDS MIX # ERNMx-180 RAIN GARDEN MIX
- PROPOSED SELECTIVELY WOODLAND UNDERSTORY CLEARING



PLANT SCHEDULE						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
<b>DECIDUOUS TREES</b>						
OP	4	QUERCUS PHELLOS	WILLOW OAK	2.5"-3" CAL.; 12-14' HGT.	B&B	FULL; LIMBED TO 7 FT.



**Pennoni**

**PENNONI ASSOCIATES INC.**  
 515 Grove Street, Suite 1B  
 Haddon Heights, NJ 08035  
 T 856.547.0605 F 856.547.9174  
 NJ COA. NO. GA2633300

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR. DISCREPANCIES BEFORE PROCEEDING WITH WORK.

**ANDREW T. BANFF**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. CE 46121

07/31/2020

MONROE TOWNSHIP DOG PARK  
 BLOCK 13001, PLO LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY

**LANDSCAPE PLAN**

TOWNSHIP OF MONROE  
 1125 VIRGINIA AVENUE / 08094  
 WILLIAMSTOWN, NEW JERSEY

NO.	DATE	REVISIONS	BY

PROJECT: MTSPX20052

DATE: JULY 31, 2020

DRAWING SCALE: 1" = 40'

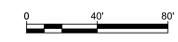
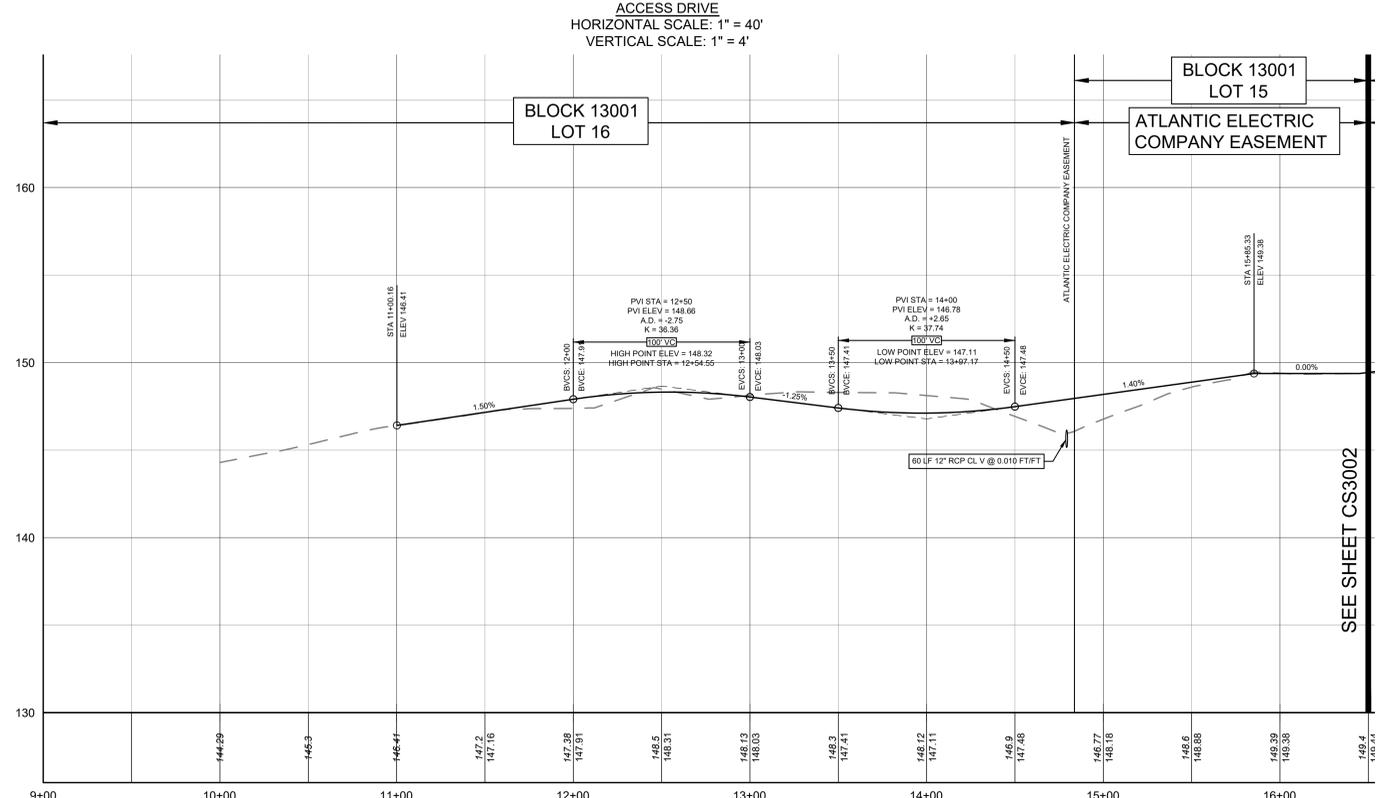
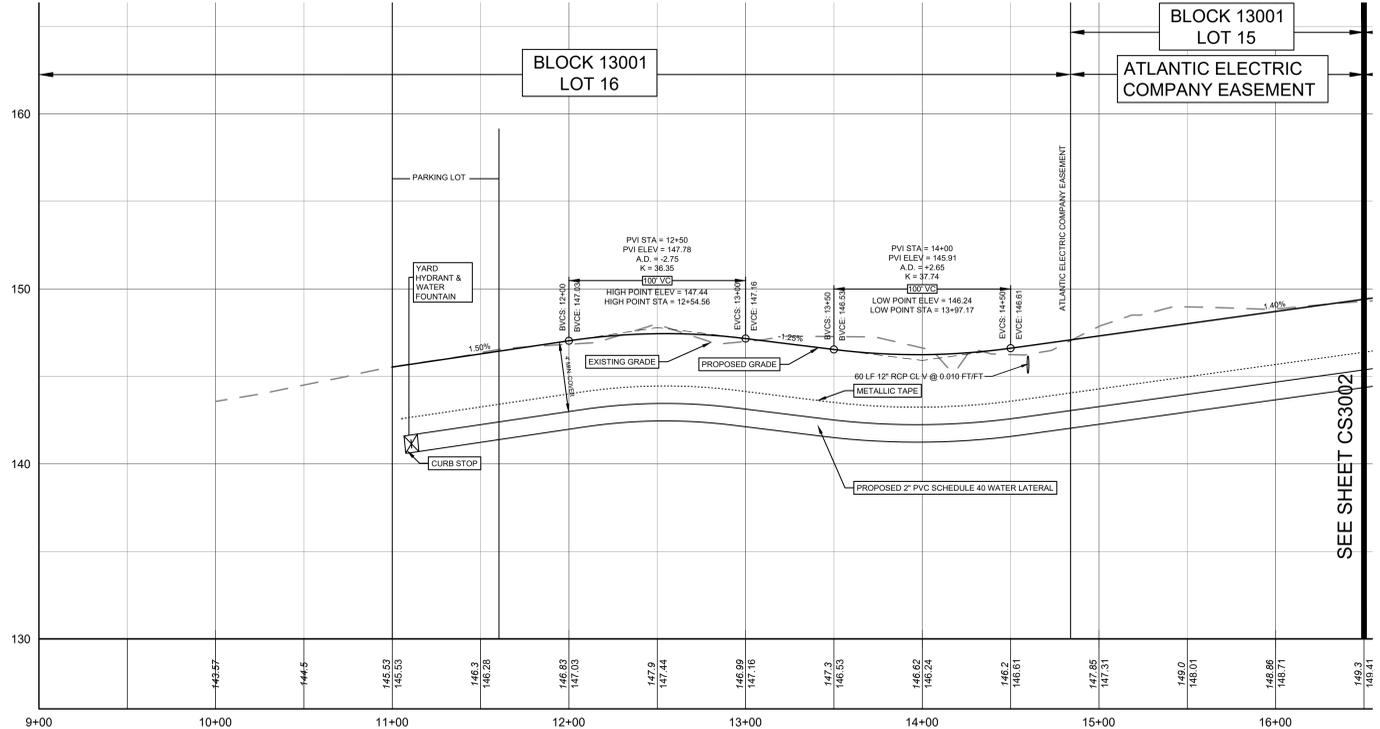
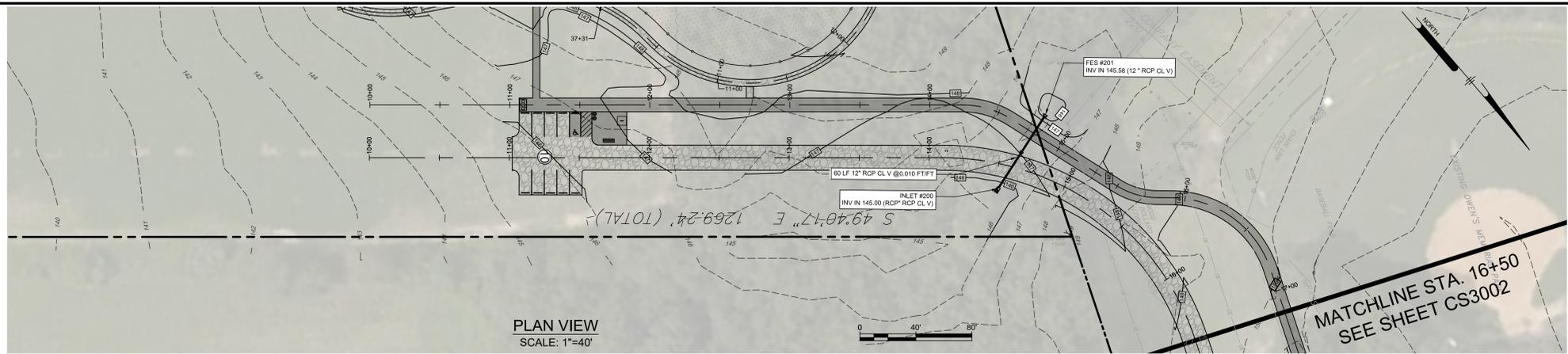
DRAWN BY: BM

APPROVED BY: ATB

**CS2001**

SHEET 7 OF 14

0 40' 80' **NOT FOR CONSTRUCTION**



**NOT FOR CONSTRUCTION**

**Pennoni**  
**PENNONI ASSOCIATES, INC.**  
 515 Grove Street, Suite 1B  
 Haddon Heights, NJ 08035  
 T 856.547.0505 F 856.547.9174  
 NJ COA NO. GA26833500

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

**ANDREW T. BANFF**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. JE 45121

07/31/2020

**MONROE TOWNSHIP DOG PARK**  
 BLOCK 13001, P/O LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY

**PLAN & PROFILE ACCESS DRIVE**

TOWNSHIP OF MONROE  
 1125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	NO.	REVISIONS	BY

PROJECT: **MTSPX20052**  
 DATE: **JULY 31, 2020**  
 DRAWING SCALE: **AS NOTED**  
 DRAWN BY: **BM**  
 APPROVED BY: **ATB**

**CS3001**  
 SHEET 8 OF 14

I:\Projects\MTSPX20052\Drawings\AccessDrive\AccessDrive\_Sheets\CS3001.dwg  
 PLOTTED: 8/20/20 10:58 AM BY: Bannay, A. PLOTTER: Pennoni K52-8  
 PROJECT STATUS:



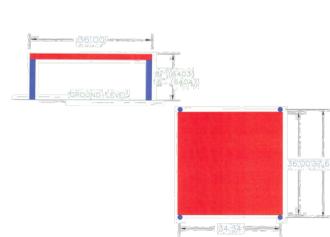




The 8" and 16" Wait Tables help to teach confidence and patience. The lower 8" height is suitable for small dogs and small/ishy dog areas of the park. The Wait Tables feature a flat, solid piece of reinforced, rust proof aluminum and are free of perforations. They are highly textured for slip resistance and assemble easily with stainless steel, vandal resistant hardware. Standard colors are Red or Green, with custom colors available for an additional price.



Top and Side Views:



**6403/6404**  
**8" & 16" WAIT TABLE**

10 gauge, rust proof reinforced aluminum

Highly textured PawsGrip™ coating for maximum slip resistance

Free of perforations, UV resistant top coat

Dimensions:  
36" x 34 x 8" or 16"

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

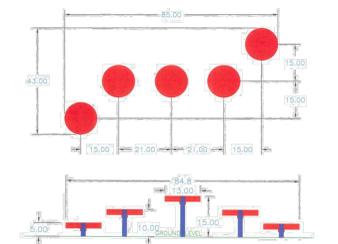
www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2017



No off-leash area is complete without an Agility Walk! This set of five disks of varying heights encourages your dog to step or hop to each one. The 14", perforation-free diameter is appropriate for dogs of all sizes, and installation in small dog areas of the park is easily modified to accommodate the legs of our more petite friends. Standard colors are Red or Green, with custom colors available at additional charge.



Top and Side Views:



**6413**  
**AGILITY WALK**

Set of five: 10 gauge, rust proof reinforced aluminum disks free of perforations

Highly textured PawsGrip™ coating for maximum slip resistance

Standard Colors: Red or Green

Stainless steel, vandal resistant hardware

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

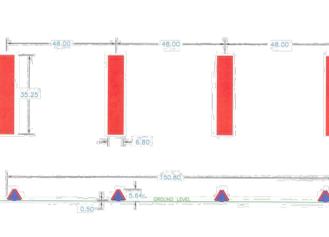
www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2017



Hound Hurdles help to improve jumping and timing skills. This series of four low hurdles is suitable for dogs of all sizes and is easily modified for small dog areas of the park by narrowing the spacing between each jump. Alternating paw and bone details add an element of fun while also helping to provide depth perception. Standard colors are Red or Green, with custom colors available by request.



Top and Side Views:



**6509**  
**HOUND HURDLES**

Set of four: Features eco-friendly and durable HDPE plastic

Rust resistant, powder coated aluminum support posts

Bi-color, routed solid poly planks with paw and bone details

Standard Colors: Red or Green

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

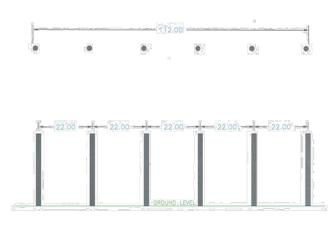
www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2017



Weave Poles are one of the more challenging dog park activities. They require patience and timing to develop the skills needed to negotiate all six poles consecutively. Our Flexible Weave Poles are safe and truly designed to flex; the durable urethane can be bent to a 90 degree angle and will slowly and safely return to an upright position.



Top and Side Views:



**6516**  
**FLEXIBLE WEAWE POLES**

Set of six - Constructed with 30" length molded urethane tube

Tube installed over custom lathe-turned post free of sharp edges

UV stable material

Stainless steel, vandal resistant hardware

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2016



DOG-ON-IT-PARKS  
877-348-3647

DOG-ON-IT-PARKS  
MODEL NO. 7236 OR APPROVED EQUAL  
INSTALL ON FENCE NEAR DOG PARK ENTRY GATE

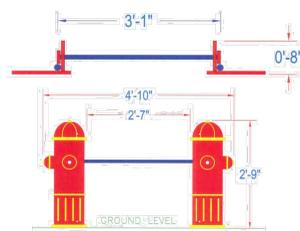
**SMALL DOG AREA SIGN DETAIL**  
N.T.S.



The Adjustable Jump Bar is an ideal starter jump for dogs of all sizes. The lightweight aluminum alloy bar makes it a snap to modify the height and the shallow guide slots allows the bar to easily fall into the channel, so it's a much safer option than heavy steel bars. The Fire Hydrant details add a touch of fun and also help to guide your dog through the center of the jump. Standard colors are either Red or Green, with custom options available for an additional charge.



Top and Front Views:



**6521**  
**ADJUSTABLE JUMP BAR**

Aircraft grade, aluminum alloy jump bar

7 height adjustments

Standard Colors: Red or Green

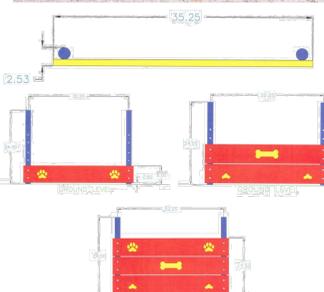
Stainless steel, vandal resistant hardware

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2017



Wall Jumps are ideal starter pieces for any dog park. They're available in three different heights to help dogs of various sizes and ability levels develop jumping skills. Manufactured with eco-friendly HDPE plastic and rust-proof aluminum uprights, our customizable planks also feature routed paw and bone details to assist with depth perception. Standard colors are Red or Green, with custom colors available for an additional charge. (2 plank option shown)



**6601-6603**  
**WALL JUMPS**

Bi-color, solid poly planks mounted to powder coated, aluminum guide posts

Customizable, precision routed paw and bone details help provide depth perception

Available in 1, 2 and 3 plank heights

Standard Colors: Red or Green

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2017



The Double Bow Wow Barrel offers an extra wide diameter to accommodate canines of all shapes and sizes, and the straight tube section allows dogs to easily see through to the other side. Like all of our tunnels, the Double Bow Wow Barrel's interior is highly textured with our exclusive material to provide years of slip resistance. Standard end panels are laser cut in either red/yellow or green/white, with customizable routed dog house options as well.



View:



**6706**  
**DOUBLE BOW WOW BARREL**

6'L and 27"D

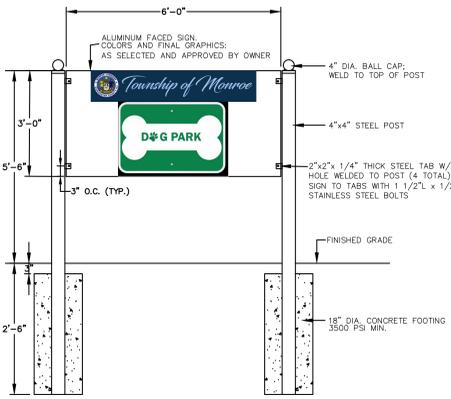
Tube Color: Blue, Red or Green

Tunnel interior has proprietary texture embedded into the plastic

Stainless steel, vandal resistant hardware. Surface mount plates also available.

**DOG-ON-IT-PARKS**  
4818 Evergreen Way  
Ste 250  
Everett, WA 98203  
P: 877-348-3647

www.dog-on-it-parks.com  
Refer to installation manual for more detailed specifications  
Copyright 2018



**PARK ENTRANCE SIGN DETAIL**  
N.T.S.



**PET WASTE STATION DETAIL**  
N.T.S.

**MANUFACTURER:**

- DOGIPOT**  
2100 Principal Row, Suite 405  
Orlando, Florida 32837  
PH: 1-800-364-7681  
OR APPROVED EQUAL  
MODEL #1010: POLY PET STATION INCLUDES:  
1. Aluminum DOGIPOT® Pet Sign (choice of On or Off Leash)  
2. Poly DOGIPOT® Junior Bag Dispenser with two (2) rolls of 200 count DOGIPOT® SMART Litter Pick Up Bags™  
3. 10 Gallon Poly DOGIPOT® Trash Receptacle with attachable hinged lid Box of 50 count DOGIPOT® SMART Litter Pick Up Bags™  
4. 2" x 2" x 4'-8" square poly telescopic mounting post with installation hardware  
5. Install post in 12" dia. x 30" deep, 4000 psi concrete foundation.  
6. Installation instructions and mounting hardware included

**SMALL DOG PARK EQUIPMENT DETAILS**  
N.T.S.

**NOTE:**

- CONTRACTOR SHALL PROVIDE EQUIPMENT AS MODEL NUMBER SHOWN OR APPROVED EQUAL. PRIOR TO CONSTRUCTION, SHOP DRAWINGS OF FINAL EQUIPMENT SELECTIONS SHALL BE PROVIDED.
- INSTALL EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.



**PENNONI ASSOCIATES INC.**  
515 Grove Street, Suite 1B  
Haddon Heights, NJ 08035  
T: 856.547.0505 F: 856.547.9774  
NJ COA NO. GA26833500

**ANDREW T. BANFF**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. UE 45121

**MONROE TOWNSHIP DOG PARK**  
BLOCK 13001, PLO LOT 16 & 28  
WILLIAMSTOWN, NEW JERSEY

**CONSTRUCTION DETAILS II**

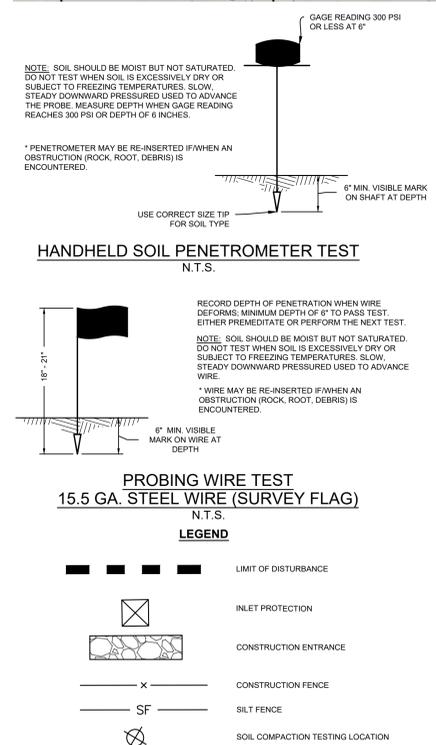
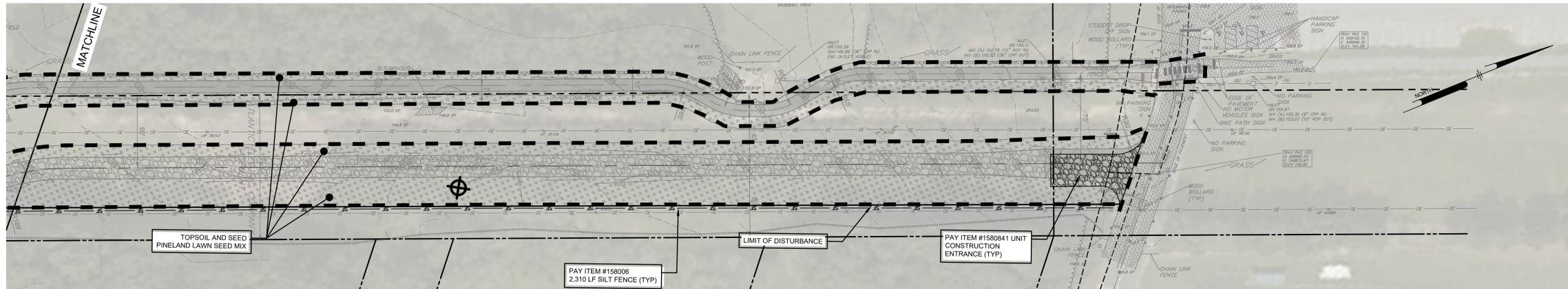
TOWNSHIP OF MONROE  
1125 VIRGINIA AVENUE  
WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	NO.	BY

PROJECT	DATE	DRAWING SCALE	DRAWN BY	APPROVED BY
MTSPX20052	JULY 31, 2020	AS NOTED	BM	ATB
<b>CS6002</b>				
SHEET 11 OF 14				

I:\Projects\2020\20200520 - Dog Park Equipment\_Sheet11of14.dwg  
 PLOT FILE: 20200520.dwg  
 PLOT DATE: 2020/07/31 10:00 AM  
 PROJECT: 20200520 - Dog Park Equipment\_Sheet11of14.dwg





**SOIL COMPACTION TESTING REQUIREMENTS**

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**COMPACTION TESTING METHODS**

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

FURTHER INFORMATION REGARDING SOIL TESTING METHOD OPTIONS ARE LOCATED IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, CHAPTER 19, OR THE WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NEROSION.HTML.

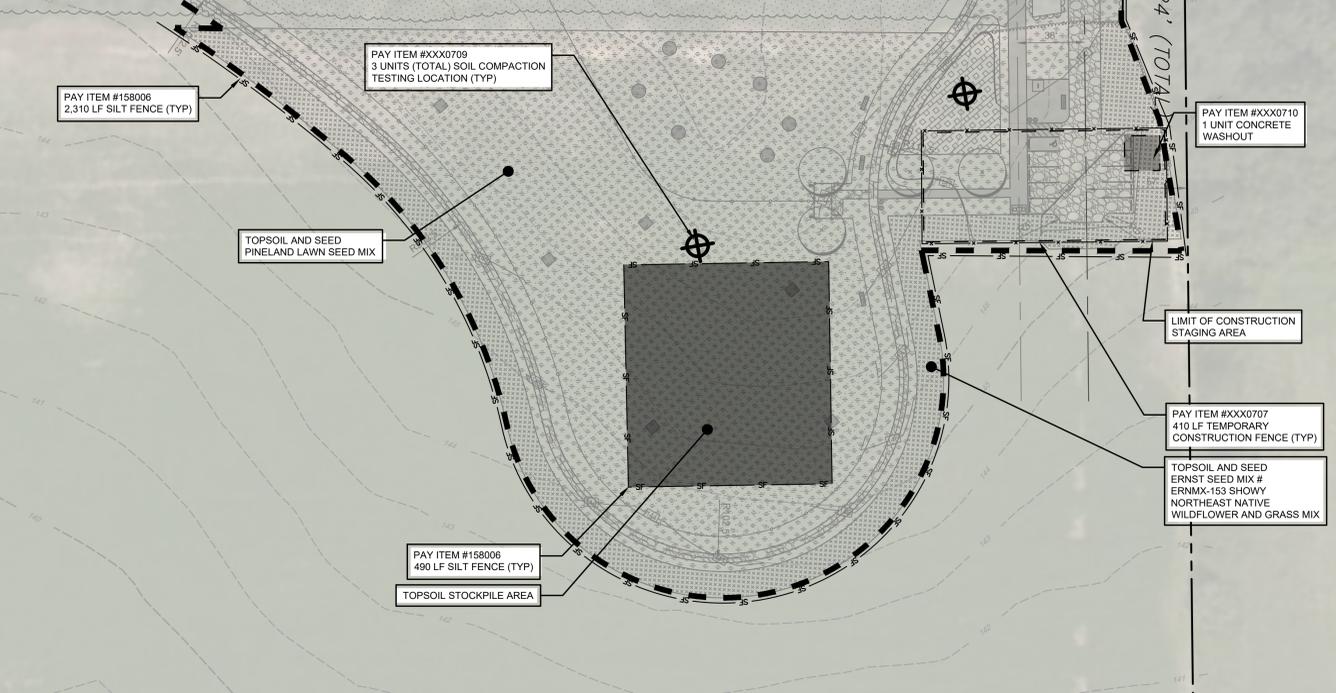
SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6\"/>

PROCEDURES FOR SOIL COMPACTION MITIGATION PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>

**SOIL COMPACTION MITIGATION VERIFICATION FORM**

- THE CONTRACTOR MUST COMPLETE AND SUBMIT A SOIL RESTORATION SELF-CERTIFICATION FORM TO THE GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT (GSCSD) FOR REVIEW AND APPROVAL. CONTRACTOR SHALL PROVIDE A COPY OF GSCSD APPROVAL TO ENGINEER FOR RECORDS.



**NOT FOR CONSTRUCTION**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR DISCREPANCIES BEFORE PROCEEDING WITH WORK

**ANDREW T. BANFF**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. JE 45121  
 07/31/2020

**MONROE TOWNSHIP DOG PARK**  
 BLOCK 13001, PLO LOT 16 & 28  
 WILLIAMSTOWN, NEW JERSEY

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

TOWNSHIP OF MONROE  
 125 VIRGINIA AVENUE  
 WILLIAMSTOWN, NEW JERSEY 08094

NO.	DATE	REVISIONS

