

SOLAR FACILITY PLANS

BLOCK 901, LOTS 2 & 3

WILLIAMSTOWN-SICKLERVILLE ROAD (CR 536 SPUR)

TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

PRELIMINARY/FINAL SITE PLAN

SITE DATA

PROPERTY OWNERS LIST

AS OF: JUNE 25, 2020

<u>Block</u>	<u>Lot(s)</u>	<u>Owner</u>	<u>Block</u>	<u>Lot(s)</u>	<u>Owner</u>
9.0101	54	NU NATURAL LANDS TRUST 501 EAST STATE STREET (CN 404) TRENTON, NJ 08625	2201	2	DONNELLY, JAMES 41 MULLEN DRIVE SICKLERVILLE, NJ 08081
9.0101	55	HOLIDAY CITY MONROE HOMEOWNERS ASSN 600 CARIBBEAN WAY WILLIAMSTOWN, NJ 08094	2201	3	KARDON REAL ESTATE, LLC P.O. BOX 560 WILLIAMSTOWN, NJ 08094
9.0104	1	HOLIDAY CITY MONROE HOMEOWNERS ASSN 600 CARIBBEAN WAY WILLIAMSTOWN, NJ 08094	2201	4	SOUTH JERSEY STORAGE, LLC 856 SICKLERVILLE ROAD WILLIAMSTOWN, NJ 08094
9.0104	2	HOLIDAY CITY MONROE HOMEOWNERS ASSN 600 CARIBBEAN WAY WILLIAMSTOWN, NJ 08094	2201	5	MONROE DEVELOPMENT ASSOCIATES, LLC 47 WARBI RD MILLVILLE, NJ 08332
9.0201	1	HOLIDAY CITY MONROE HOMEOWNERS ASSN 600 CARIBBEAN WAY WILLIAMSTOWN, NJ 08094	2201	6	MONROE DEVELOPMENT ASSOCIATES, LLC 47 WARBI RD MILLVILLE, NJ 08332
901	5	RODRIGUEZ, JOSE W. 731 SICKLERVILLE ROAD WILLIAMSTOWN, NJ 08094	2201	7	MONROE DEVELOPMENT ASSOCIATES, LLC 47 WARBI RD MILLVILLE, NJ 08332
2201	1	SHERRARD, JAMES & REHMAN, FRANK S. 548 MINK LANE WILLIAMSTOWN, NJ 08094	2201	8	MONROE DEVELOPMENT ASSOCIATES, LLC 47 WARBI RD MILLVILLE, NJ 08332

UTILITY COMPANIES

ROADS & RIGHT-OF-WAYS

STATE HIGHWAYS
NJ DEPARTMENT OF TRANSPORTATION
ONE EXECUTIVE CAMPUS
ROUTE 70 WEST
CHERRY HILL, NJ 08002

COUNTY PLANNING DEPARTMENT
GLOUCESTER COUNTY PLANNING BOARD
1200 NORTH DELSEA DRIVE
CLAYTON, NJ 08312

SOUTH JERSEY GAS
CORPORATE HEADQUARTERS
1 SOUTH JERSEY PLAZA
FOLSOM, NJ 08031

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY
MAYS LANDING, NJ 08330

VERIZON NEW JERSEY
9 GATES AVENUE
MONTCLAIR, NJ 07042

COUNTY HIGHWAYS
 GLOUCESTER COUNTY HIGHWAY DEPARTMENT
 1200 NORTH DELSEA DRIVE
 CLAYTON, NJ 08312

MONROE MUNICIPAL UTILITIES AUTHORITY
 372 MAIN STREET SOUTH
 WILLIAMSTOWN, NJ 08094

PUBLIC SERVICE ELECTRIC AND GAS
 COMPANY
 80 PARK PLAZA, T6B
 NEWARK, NJ 07102

COMCAST CABLE COMPANY
 301 SOUTH MAIN ROAD
 VINELAND, NJ 08360

FOR ON-SITE UTILITIES:
 THE TOWNSHIP OF MONROE
 125 WINSTON AVENUE
 WILLIAMSTOWN, NEW JERSEY 08094
 (856) 728-9800

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

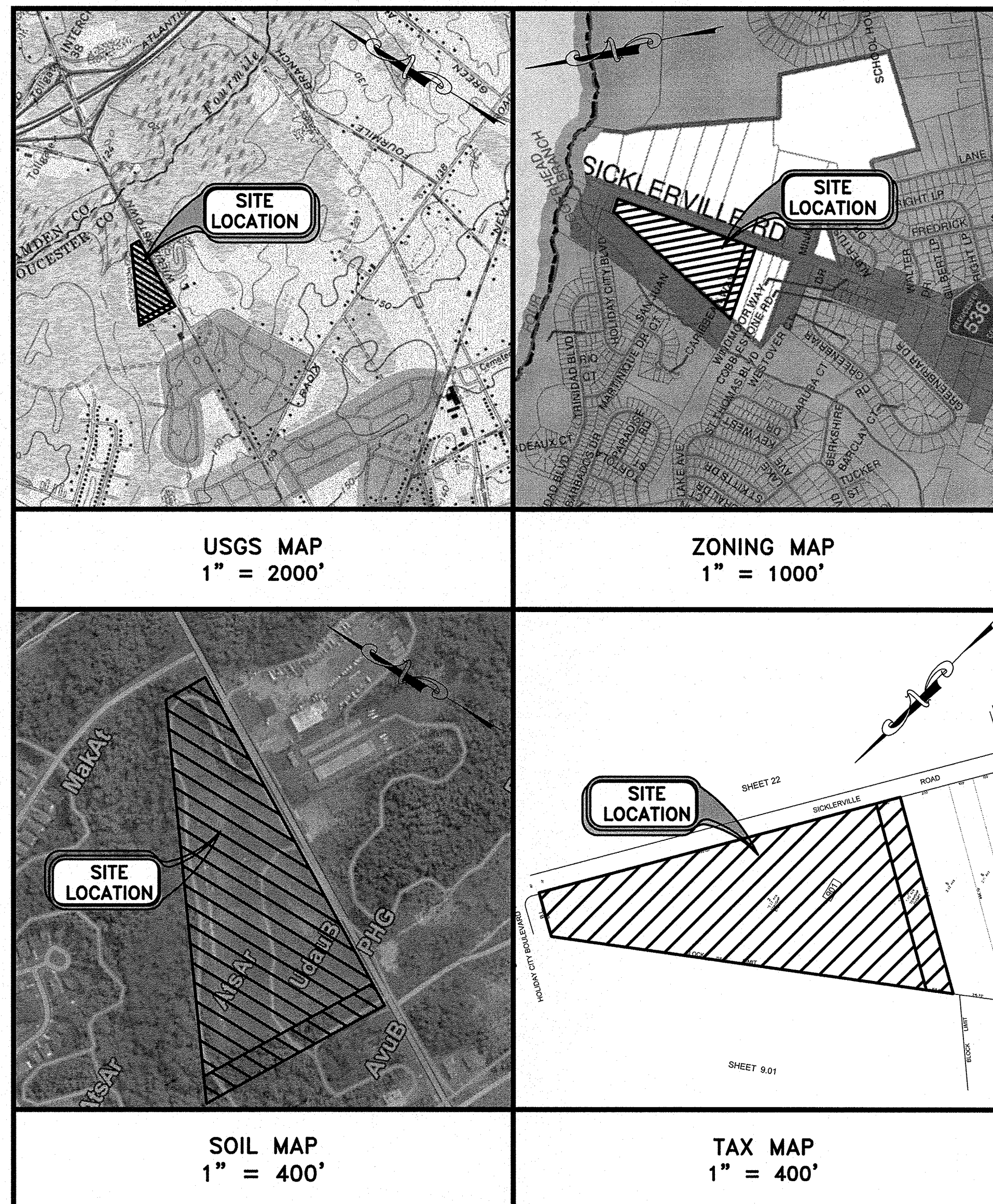
PLANNING ENGINEER _____ DATE _____

GLOUCESTER COUNTY
PLANNING BOARD CHAIRMAN

DATE

APPLICANT

MONROE - SICKLERVILLE ROAD LF SOLAR, LLC
A WHOLLY OWNED COMPANY OF TRINA SOLAR US DEVELOPMENT, LLC
100 CENTURY CENTER COURT, SUITE 501
SAN JOSE, CA 95112
(800) 696-7114



INDEX OF SHEETS

<u>SHT. NO.</u>	<u>DESCRIPTION</u>	<u>ORIG. DATE</u>	<u>LAST REV.</u>
1	COVER SHEET	08/14/2020	
2	EXISTING CONDITIONS & DEMOLITION PLAN	08/14/2020	
3	SOLAR FACILITY PLAN	08/14/2020	
4	SOLAR FACILITY DETAILS	08/14/2020	
5	SOIL EROSION AND SEDIMENT CONTROL PLAN	08/14/2020	
6	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS	08/14/2020	
7	COUNTY ROAD PLANS & DETAILS	08/14/2020	

1. PROPERTY IN QUESTION KNOWN AS BLOCK 901, LOTS 2 & 3 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
2. PROPERTY IN QUESTION CONTAINS: 18.44 AC± (LOT 2: 16.54 AC±, LOT 3: 1.90 AC±)
3. PROPERTY IN QUESTION IS ZONED: LANDFILL REDEVELOPMENT AREA
4. OWNER: THE TOWNSHIP OF MONROE
ATTN: PATRICK O'REILLY, COUNCIL AT LARGE
125 VIRGINIA AVENUE
WILLIAMSTOWN, NEW JERSEY 08094
(856) 728-9800 EXT. 227
POREILLY@MONROETOWNSHIPNJ.ORG
5. APPLICANT/REDEVELOPER: MONROE - SICKLERVILLE ROAD LF SOLAR, LLC
A WHOLLY OWNED COMPANY OF TRINA SOLAR US DEVELOPMENT, LLC (ATTENTION: JEFF LEE, VICE PRESIDENT)
100 COUNTRY CENTER COURT, SUITE 501
SAN JOSE, CALIFORNIA 95112
(800)696-7114
- MONROE - SICKLERVILLE ROAD LF SOLAR, LLC WAS DESIGNATED AS REDEVELOPER AND CURRENTLY HAS A VALID LEASE AGREEMENT WITH THE TOWNSHIP OF MONROE TO LEASE, DEVELOP, CONSTRUCT, OWN AND OPERATE A SOLAR FACILITY ON THE PROJECT SITE (BLOCK 901, LOTS 2 & 3).
- THE TOWNSHIP OF MONROE ADOPTED A RESOLUTION (R:41-2020) ON JANUARY 27, 2020 MEMORIALIZING THE DESIGNATION AND AGREEMENTS BY AND BETWEEN THE OWNER AND APPLICANT/REDEVELOPER.
6. SOLAR FACILITY ENGINEERING, PROCUREMENT, AND CONSTRUCTION (EPC) CONTRACTOR:
MILLER BROTHERS (ATTN: JOSEPH MARRONE)
301 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428
P: (610) 832-1000 F: (610) 832-1005
WWW.MILLERBROS.US
7. PRESENT LAND USE: SOLID WASTE LANDFILL
FACILITY ID NO. 0811A
PI NO. 0000026211
8. PROPOSED LAND USE: SOLID WASTE LANDFILL WITH SOLAR ENERGY PRODUCTION FACILITY
9. EXISTING LOTS: 2 PROPOSED LOTS: 2
10. HORIZONTAL DATUM IS NAD83 BASED ON GPS OBSERVATIONS.
11. VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATIONS.
12. EXISTING CONDITIONS SHOWN ON THESE PLANS ARE BASED ON THE FOLLOWING:
- A. OUTBOUND AND EXISTING FEATURES ON-SITE TAKEN FROM A PLAN ENTITLED "PLAN OF SURVEY" PREPARED BY CONSULTING ENGINEER SERVICES DATED 06/12/20, (LAST REVISED 7/31/20).
- B. TOPOGRAPHY (ELEVATION CONTOURS) TAKEN FROM A PLAN SET ENTITLED "TOWNSHIP OF MONROE - SANITARY LANDFILL CLOSURE PLAN" PREPARED BY ADAMS, REHMANN & HEGGAN ASSOCIATES, INC. DATED APRIL 2017, AND FIELD VERIFIED BY CONSULTING ENGINEER SERVICES ON JUNE 06, 2020.
- C. EXISTING FEATURES ON THE EAST SIDE OF CR 536 SPUR TAKEN FROM A PLAN SET ENTITLED "TOWNSHIP OF MONROE - SANITARY LANDFILL CLOSURE PLAN" PREPARED BY ADAMS, REHMANN & HEGGAN ASSOCIATES, INC. DATED APRIL 2017.
- D. WETLAND FEATURES TAKEN FROM A PLAN ENTITLED "PLAN OF WETLANDS" PREPARED BY CONSULTING ENGINEER SERVICES DATED 8/14/20.
13. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).
14. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW," OCTOBER 1984. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARKOUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS. THE CONTRACTOR SHALL ALSO CONTACT THE TOWNSHIP OF MONROE TO LOCATE/VERIFY ALL UNDERGROUND UTILITIES ON THE SITE PRIOR TO ANY EXCAVATIONS/DIGGING.
15. BULK REQUIREMENTS: (PER "LANDFILL REDEVELOPMENT PLAN" DATED APRIL 18, 2019)
- | DESCRIPTION | REQUIRED | PROPOSED |
|------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| MIN LOT SIZE | NO MINIMUM ESTABLISHED | 18.44 AC± (LOTS 2 & 3) |
| MIN LOT WIDTH | NO MINIMUM ESTABLISHED | 1,505 FT± (LOTS 2 & 3) |
| MIN LOT DEPTH | NO MINIMUM ESTABLISHED | 220 FT± (LOTS 2 & 3) |
| (THE EXISTING GEOMETRY OF THE REDEVELOPMENT AREA SHALL CONSTITUTE THE LOT AREA, WIDTH & DEPTH) | | |
| MAX IMPERVIOUS SURFACE/BUILDING COVERAGE* | LIMITED TO THAT ABSOLUTELY NECESSARY TO ACCOMMODATE THE REDEVELOPMENT PROJECT | 12,565 SQ/FT |
| MAX STRUCTURAL HEIGHT | 35' (WITH THE EXCEPTION OF UTILITY POLES AND OVERHEAD CABLEING) | ≤35' |
| MIN SETBACKS** | | |
| SICKLERVILLE ROAD (CR 536 SPUR) | 100' | ≥100' |
| EASTERLY PROPERTY LINE | 50' | ≥50' |
| NORTHERLY PROPERTY LINE | 50' | ≥50' |
| WESTERLY PROPERTY LINE | 50' | ≥50' |
| INTERIOR SETBACKS | WHILE THIS REDEVELOPMENT PLAN DOES NOT MANDATE INTERIOR SETBACKS FROM MECHANICAL, STRUCTURAL OR OTHER ELEMENTS OF THE REDEVELOPMENT PROJECT, THE REDEVELOPMENT PLAN DOES REQUIRE THAT THE ENTIRETY OF THE REDEVELOPMENT AREA BE ACCESSIBLE FOR EMERGENCY VEHICLES. SIMILARLY, ALL CONSTRUCTION, INCLUDING DISTANCES BETWEEN ELEMENTS, SHALL BE IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES AND STANDARDS. | |
- NOTE: PER NEW JERSEY LAW S-921, SOLAR PANELS SHALL NOT BE CALCULATED AS IMPERVIOUS COVER (EXCLUDES FOUNDATIONS AND BASES).
- * IN ADDITION TO COMPLIANCE WITH ALL NJDEP AND LOCAL REGULATIONS REGARDING STORMWATER MANAGEMENT.
- ** THE INTENT OF THESE SETBACKS IS TO BUFFER ADJACENT LAND USES FROM THE REDEVELOPMENT PROJECT AND TO RESPECT AND PRESERVE, TO THE MAXIMUM EXTENT PRACTICABLE, THE NATURAL, WOODED CONDITIONS ALONG THE LOGGERSHEAD BRANCH AND THE FRESHWATER WETLANDS ALONG SICKLERVILLE ROAD NEAR THE FRONT OF THE REDEVELOPMENT AREA - WHILE MAXIMIZING THE PRODUCTION OF "GREEN" ENERGY. ACCORDINGLY, AND SUBJECT TO THE REQUIREMENTS OF THE RELEVANT PERMITTING AGENCIES, THESE MINIMUM SETBACKS ARE ESTABLISHED.
18. THIS PLAN SET HAS BEEN PREPARED FOR THE PROPOSED SOLAR FACILITY AND ARE INTENDED TO REPLACE THE FOLLOWING DOCUMENTS PREVIOUSLY APPROVED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) AND OTHER REVIEW AGENCIES WITH THE LANDFILL CLOSURE PLAN. THEREFORE, THESE DOCUMENTS ARE NULL, VOID, AND NO LONGER IN EFFECT.
- A. PLAN ENTITLED "EXHIBIT A - SOLAR ARRAY CONCEPT PLAN" PREPARED BY ADAMS, REHMANN & HEGGAN ASSOCIATES, INC. (ARH), DATED AUGUST 2017.
- B. PLANS ENTITLED "SOLAR ARRAY SITE PLAN" (SHEET 1 OF 2) AND "SOLAR ARRAY SITE DETAILS" (SHEET 2 OF 2) PREPARED BY ADAMS, REHMANN & HEGGAN ASSOCIATES, INC. (ARH), DATED DECEMBER 2017.
- C. "SOLAR FEASIBILITY STUDY" PREPARED BY ADAMS, REHMANN & HEGGAN ASSOCIATES, INC. (ARH) DATED, DECEMBER 14, 2017.
- (APPLICANT/REDEVELOPER SHALL SUBMIT A LANDFILL CLOSURE MODIFICATION TO REPLACE THE ABOVE REFERENCED DOCUMENTS.)
19. PRIOR APPROVALS FOR LANDFILL CLOSURE:
- A. NJDEP FRESHWATER WETLANDS LETTER OF INTERPRETATION (LOI) #0811-12-0001.1 FWM20001, APPROVED 5/15/12, EXPIRED 5/14/17. (UPDATED WETLANDS ARE SHOWN ON A PLAN ENTITLED "PLAN OF WETLANDS" PREPARED BY CONSULTING ENGINEER SERVICES, DATED 8/14/20, WHICH WILL BE RE-SUBMITTED TO NJDEP FOR A NEW LOI.)
- B. NJDEP GENERAL PERMIT 5 #0811-12-0001.2 FWM 180001 FOR WETLANDS DISTURBANCE ASSOCIATED WITH LANDFILL CLOSURE, APPROVED 5/21/18, EXPIRES 5/20/23.
- C. NJDEP SANITARY LANDFILL CLOSURE AND POST-CLOSURE PLAN APPROVAL #LCB830001, ISSUED 2/28/18.
20. ALL IMPROVEMENTS SHOWN IN THIS PLAN SET "BY OTHERS" ARE SHOWN PER PLANS ENTITLED "MONROE TOWNSHIP SANITARY LANDFILL CLOSURE" PREPARED BY PENNONI ASSOCIATES, INC. DATED JUNE 5, 2020, LAST REVISED JULY 24, 2020.

COVER SHEET

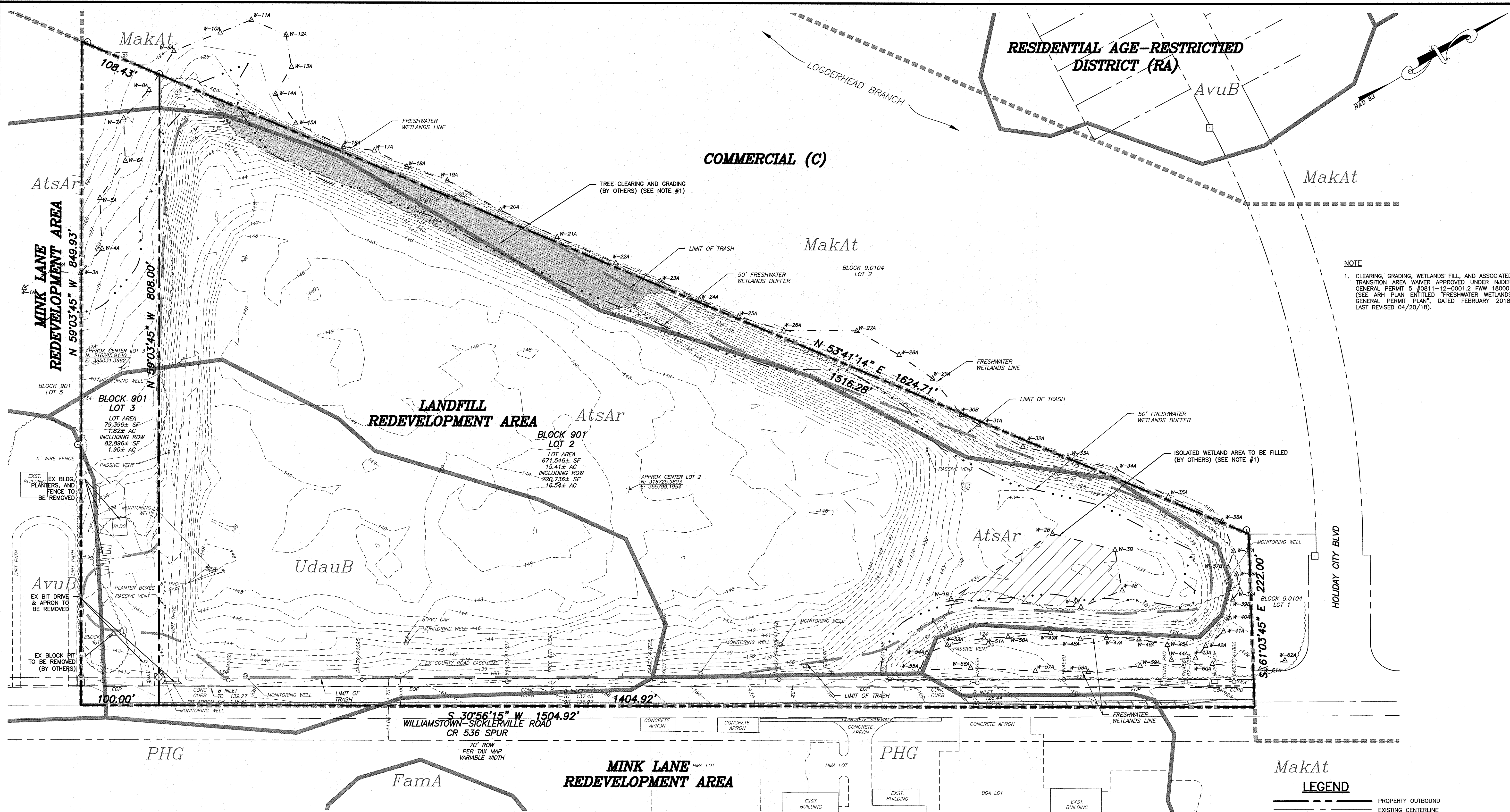
MONROE -- SICKLERVILLE ROAD LF SOLAR
BLOCK 901, LOTS 2 & 3
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

CONSULTING ENGINEER SERVICES
PREPARED BY
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
6845 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NJ 08081
PHONE (866) 228-2200 • FAX (866) 232-2346 • EMAIL design@ces-1.com
NJ CERTIFICATE OF AUTHORIZATION No. 240927957700

[illegible]

UNCLASSIFIED SEAL OF THE LICENSED
 AUTHORIZED DOCUMENT, ANY REUSE
 OF THIS DOCUMENT WILL BE AT USER'S

Michael R. Brown 8/17/20 DATE
MICHAEL R. BROWN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04422200



DEMOLITION NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW". THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARKOUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
- ALL ELECTRICAL FACILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE STATE OR LOCAL REGULATIONS. ALL WORK AT UTILITY POLES SHALL BE COORDINATED WITH PROPER ELECTRIC COMPANY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND OBJECTS THAT ARE TO REMAIN SO AS TO AVOID DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY CONTRACTOR OPERATIONS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COUNTY SOIL CONSERVATION DISTRICT.
- NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
- ANY TRENCH REPLACEMENT AND RESTORATION DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING AND CONCRETE, AS WELL AS TOPSOILING, SODDING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN STATE ROADS SHALL MEET THE REQUIREMENTS OF THE STATE ENGINEER.
- THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.

DEMOLITION NOTES (CONT.)

- THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
- ALL DEBRIS, RUBBISH, INCLUDING HAZARDOUS WASTE, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- IN LOCATIONS WHERE CONCRETE AND PAVEMENT, TO BE REMOVED, ADJUT SURFACES OF LIKE MATERIALS, THE CONCRETE AND PAVEMENT SHALL BE SAW CUT ALONG THE LIMITS OF REMOVAL TO LEAVE A CLEAN, EVEN EDGE REMAINING WHERE SUCH MATERIALS ARE TO REMAIN IN PLACE. AT ALL LOCATIONS WHERE EXISTING BUILDINGS AND FOUNDATIONS ARE TO BE REMOVED, THE EXPOSED SUBGRADE SHALL BE PROOF ROLLED AND DENSIFIED WITH A 15 TON SELF-PROPELLED VIBRATORY COMPACTOR, THE DENSITY OF 95% OF MODIFIED PROCTOR SHALL BE ACHIEVED PRIOR TO ANY PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1928.32 (f) (OSHA COMPETENT PERSON)
- THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE THE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
- THE INSPECTION OF, OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
- IF ENCOUNTERED, DEMOLITION PERMIT AND WELL/SEPTIC SYSTEM CLOSURE PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE PROCEEDING TO COMMENCE THE WORK OR ORDERING OF MATERIALS. EXISTING UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY EXCAVATION OPERATIONS UNTIL HE HAS DETERMINED THE EXACT LOCATION OF THE EXISTING UTILITY FACILITIES WITHIN THE PROJECT FROM SUBSURFACE SITE INVESTIGATIONS, INCLUDING TEST PITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THEIR EXAMINATIONS DETERMINE ANY CONFLICTS TO COMPLETING THE WORK.
- THE CONTRACTOR SHALL PROTECT, SUPPORT, AND SECURE ALL IN-PLACE UTILITY FACILITIES SO AS TO AVOID DAMAGE TO THEM AND ANY INTERRUPTION OF SERVICE. THE CONTRACTOR SHALL NOT TEMPORARILY MOVE EXISTING OR COMPLETED UTILITY FACILITIES WITHOUT THE UTILITY(S) WRITTEN CONSENT, AND THE FACILITIES SHALL BE AS SAFE AND PERMANENT AT COMPLETION AS THEY WERE BEFORE THE CONTRACTOR'S INVOLVEMENT. IN THE EVENT THE CONTRACTOR DAMAGES A UTILITY FACILITY, INCLUDING PROPERTY SERVICE CONNECTIONS, THE CONTRACTOR SHALL NOTIFY THE UTILITY(S) IMMEDIATELY. THE UTILITY(S) MAY COMPLETE THE REPAIRS OR ALLOW THE CONTRACTOR TO COMPLETE THE REPAIRS, WITH THE CONTRACTOR RESPONSIBLE FOR ANY APPLICABLE TIME AND EXPENSE.
- EXCAVATIONS SHALL BE SHORED, BRACED, AND SHEATHED AS CONDITIONS WARRANT. IF CLOSE TO EXISTING PAVEMENT, SIDEWALKS, CURBS, PIPES, RAILROADS, OR STRUCTURES OF ANY KIND, THE EXCAVATION SHALL BE SECURED BY SHEET PILING OR OTHER METHODS SO THAT SUCH FACILITIES AND STRUCTURES ARE PROTECTED. NO ADDITIONAL PAYMENT WILL BE MADE FOR SHORING, BRACING OR SHEATHING.

SOILS LEGEND

DESIGNATION	NAME	SLOPES	SOIL CLASS
AtsAr	ATSION SAND	0-2%	A/D
AvuB	AURA-URBAN LAND COMPLEX	0-5%	B
FamA	FALLSINGTON SANDY LOAMS	0-2%	C/D
MakAt	MANAHAWKIN MUCK	0-2%	A/D
PHG	PITS, SAND & GRAVEL	-	-
Udaub	UDORTHERTS-URBAN LAND COMPLEX	0-8%	D

LEGEND

---	PROPERTY OUTBOUND
---	EXISTING CENTERLINE
---	EXISTING LOT LINE
---	FRESHWATER WETLANDS LINE
---	50' WETLANDS BUFFER LINE
---	EXISTING TREELINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	EXISTING BLOCK NUMBER
---	EXISTING LOT NUMBER
---	EXISTING 1" INTERVAL CONTOUR LINE
---	EXISTING UTILITY POLE
---	EXISTING SOIL LINE
---	EXISTING SOIL TYPE
---	LIMIT OF TRASH
---	EXISTING ZONING
---	EXISTING STORM SEWER AND INLET
---	EXISTING MONITORING WELL
---	EXISTING SIGN
---	EXISTING CAP
---	EXISTING PASSIVE VENT
---	LIMIT OF TREE CLEARING

GRAPHIC SCALE

0 60 120 Feet

SCALE: 1" = 60'

DATE: 8/17/20
DRAWN BY: MICHAEL R. BROWN
CHECKED BY: MICHAEL R. BROWN
APPROVED BY: MICHAEL R. BROWN

REVISIONS

NO.	DATE	DESCRIPTION
1	8/17/20	ISSUED FOR PERMIT

PREPARED BY: CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLERVILLE, NJ 08081
PHONE (609) 426-1111 FAX (609) 426-1112
E-MAIL: info@cesnj.com
N.J. CERTIFICATE OF AUTHORIZATION NO. 44202785700

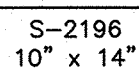
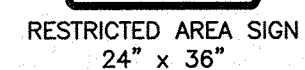
EXISTING CONDITIONS & DEMOLITION PLAN
MONROE - SICKLERVILLE ROAD LF SOLAR
BLOCK 901, LOTS 2 & 3
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

DATE: 8/17/20
SCALE: 1" = 60'
SHEET: No. 2 OF 7

FILE NO.: 3864-001
PROJECT NO.: 3864-001

DATE: 8/17/20
SCALE: 1" = 60'
SHEET: No. 2 OF 7

DATE: 8/17/20
SCALE: 1" = 60'
SHEET: No. 2 OF 7



SECURITY SIGN 'A'
NTS

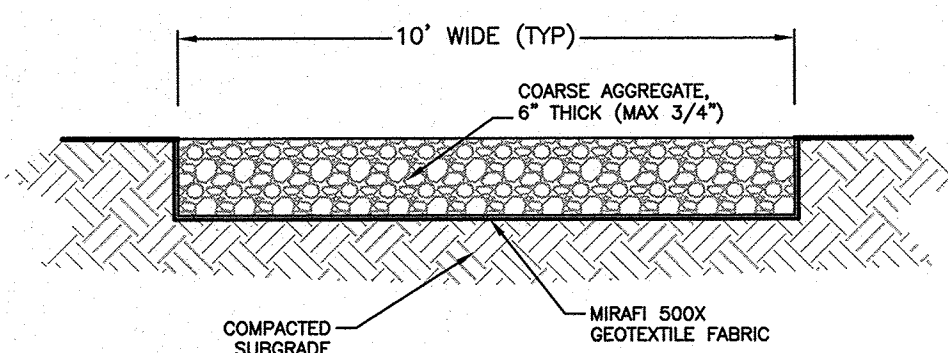
SECURITY SIGN 'B'
NTS

NOTES:

1. SIGN 'A' AND 'B' SHALL BE PLACED ALONG EXTERIOR OF THE FENCE FACING OUTWARD.
2. SIGN 'A' SHALL BE AFFIXED AT 4' HEIGHT, 100' APART MAXIMUM (50' MAXIMUM FROM SIGN 'B') AROUND ENTIRE FENCE PERIMETER.
3. SIGN 'B' SHALL BE AFFIXED AT 4' HEIGHT, 100' APART MAXIMUM (50' MAXIMUM FROM SIGN 'A') AROUND ENTIRE FENCE PERIMETER.

SECURITY SIGN DETAIL

NTS



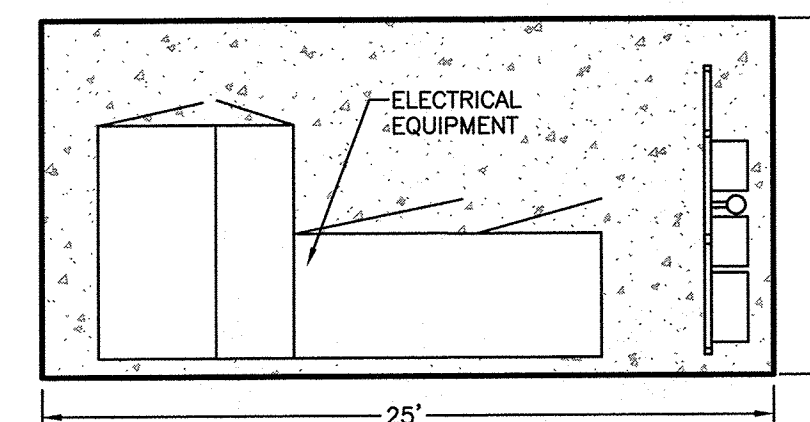
NOTES:

1. ALL MATERIALS AND/OR CLASSIFICATION SHALL CONFORM TO THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007, OR AS AMENDED.
2. THE AGGREGATE DRIVE SHALL BE CONSTRUCTED OF CLEAN QUARRY BLEND STONE, NO LARGER THAN 3/4".
3. THE WIDTH OF THE AGGREGATE DRIVE SHALL BE 10' WIDE OR AS OTHERWISE SPECIFIED BY THE ENGINEER. IF THE ENGINEER DETERMINES THE PLACEMENT OF THE DRIVEWAY ON THE PLAN DOES NOT SUIT THE NEEDS OF THE FUTURE DEVELOPMENT, THE ENGINEER SHALL RESERVE THE RIGHT TO ALTER THE LAYOUT.
4. CONTRACTOR SHALL IN NO WAY ALTER, DISTURB, OR OTHERWISE DISRUPT THE 24" OF CAP MATERIAL ON THE LANDFILL.
5. MIRAFI FABRIC SHALL BE SET PRIOR TO THE LAYING OF THE STONE ACCESS DRIVE.

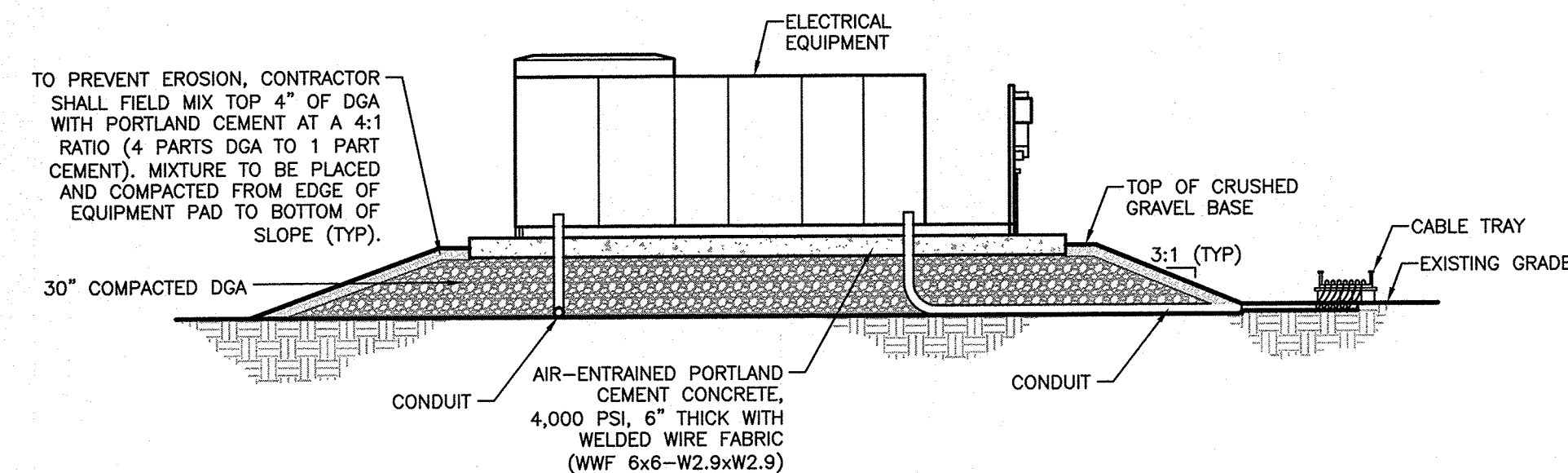
STONE ACCESS DRIVE DETAIL

NTS

(BASED ON SPECIFICATIONS FOR "MONROE TOWNSHIP LANDFILL CLOSURE" PROVIDED BY THE TOWNSHIP ENGINEER, AUGUST 2020)



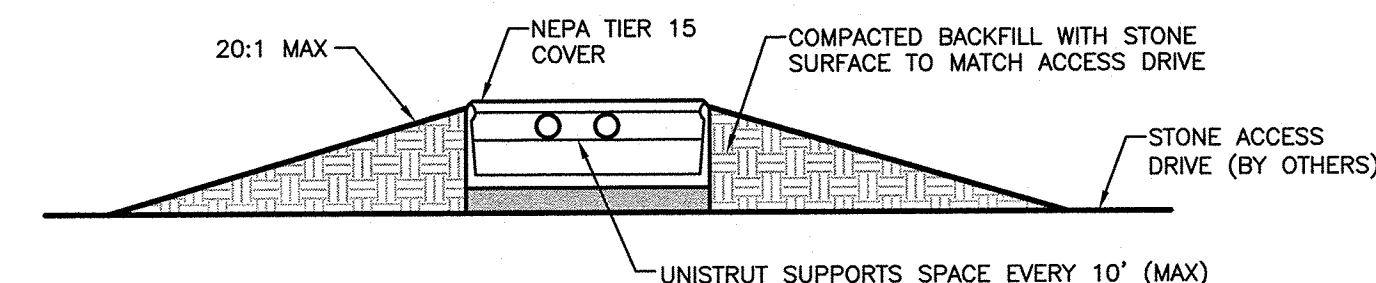
PLAN



ELEVATION

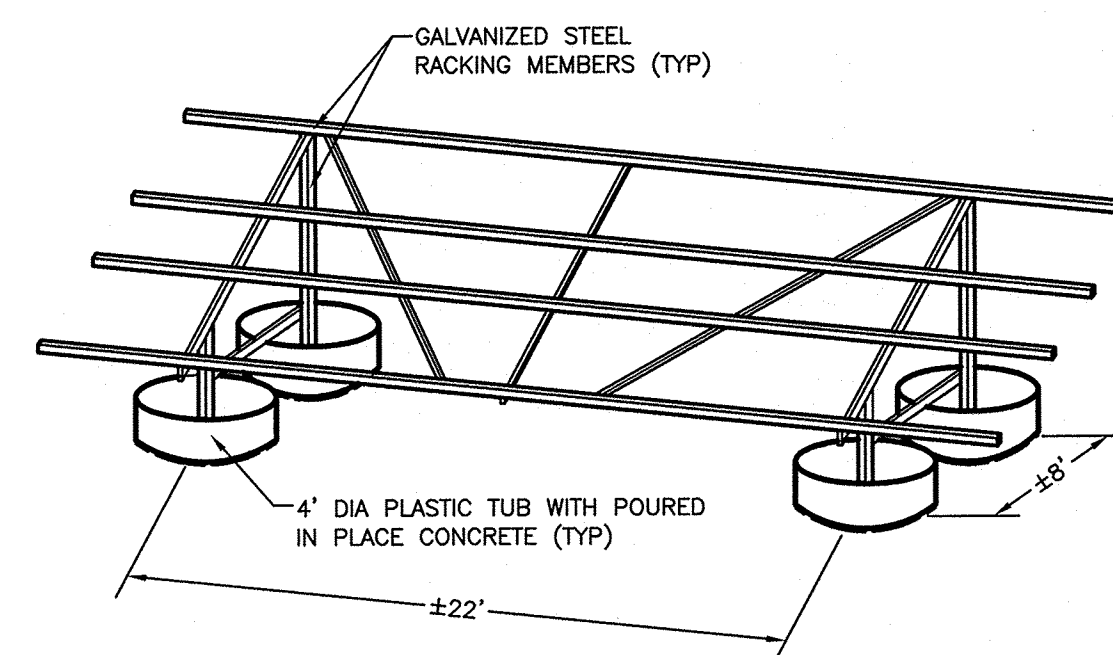
EQUIPMENT PAD DETAIL*

NTS



CABLE TRAY ACROSS DRIVEWAY DETAIL*

NTS



ARRAY RACKING DETAIL*

NTS

DETAIL NOTES:

- * DETAILS DESIGNATED WITH AN ASTERISK ARE BASED ON DETAILS PROVIDED BY MILLER BROTHERS, JULY 2020.

SOLAR FACILITY DETAILS

MONROE - SICKLERVILLE ROAD LF SOLAR
BLOCK 901, LOTS 2 & 3

SHT. No. 4 OF 7 DATE: 08/14/20 SCALE: AS NOTED CES No. 3864 FILE No. 3864-DT01 DRAWN BY: WS

[illegible]

Michael R. Brown 8/17/20 DATE

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04422200

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATIOS SHALL BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2- $\frac{1}{2}$ " CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL). THE BASIN MUST BE DE-WATERED TO A NET PORE PRESSURE WITHIN 10 DAYS OF THE DESIGN STORM.
16. N.J.A.C. 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH OR PROTECTION THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATING AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

1. MAINTENANCE SHALL OCCUR ON A REGULAR BASIS CONSISTENT WITH FAVORABLE PLANT GROWTH, SOIL, AND CLIMATE CONDITIONS.
2. ALL PROPOSED SEDIMENT BASINS SHALL BE REMOVED OF SILT AND SEDIMENT SO THAT PROPER CONTACT TIME IS ACHIEVED TO OBTAIN PROPER SEDIMENT REQUIREMENTS.
3. ALL RIP-RAP AND CONSTRUCTION ENTRANCE SHALL BE RAKED AS REQUIRED TO MAINTAIN INTENDED USE
4. WHEN IT BECOMES NECESSARY, THE OWNER SHALL INFORM THE CONTRACTORS OF UNSATISFACTORY CONDITION OR EROSION AND SEDIMENT DEVICES. AT SUCH TIME THE CONTRACTOR SHALL IMPROVE THE CONDITIONS OF SAID DEVICES TO MEET WITH THE APPROVAL OF THE OWNER.
5. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT
6. SEEDED AREAS THAT HAVE BEEN WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RE-SEEDED. THE PROCEDURE SHALL BE REPEATED AFTER EACH STORM OR UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT
7. CONTROL MEASURES SHALL APPLY TO SUBSEQUENT OWNERS IF TITLE IS CONVEYED.
8. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING AND AFTER CONSTRUCTION.

9. ALL SEEDING, STABILIZATION, ETC., SHALL BE AS SPECIFIED IN THE CURRENT EDITION OF THE NEW JERSEY DEPARTMENT OF AGRICULTURE'S "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY."
10. FERTILIZER TO BE 10-6-4 OR 10-5-5 APPLIED AT 800 TO 1000 LBS/ACRE, OR 5-10-10 OR 5-10-5 APPLIED AT 500-600 LBS/ACRE. EXACT APPLICATION RATE TO BE DETERMINED BY SOIL TESTING.
11. GROUND LIMESTONE TO BE SPREAD AT VARYING RATES TO CORRECT EXISTING PH VALUES TO A LEVEL OF 6.5.

PRIOR TO HALTING CONSTRUCTION FOR PERIODS LONGER THAN 30 DAYS AND DURING THE OFF SEASON, THE CONTRACTOR SHALL STABILIZE WITH TEMPORARY VEGETATIVE COVER AND ALL EXPOSED SOILS. TEMPORARY VEGETATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS.

1. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 LBS/ACRES OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT. IF SEED IS DRILLED OVER BANDED FERTILIZED, THE RATE OF FERTILIZER MAY BE REDUCED BY 50%.
2. LIMESTONE SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE OR 90 LBS/1000 SF LIMESTONE EQUIVALENT TO 5% CALCIUM PLUS MAGNESIUM OXIDES SHALL BE USED.
3. LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
4. MULCHING SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNROTTED, SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1½ TO 2 TONS PER ACRE (70 TO 90 LBS/1000 S.F.), EXCEPT THAT WHERE CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (CRUMPER OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE DOUBLED. MULCH SHALL BE SPREAD UNIFORMLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED.
5. MULCH SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY:
LIQUID MULCH BINDERS—MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCHES.
A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCES.

B. USE ONE OF THE FOLLOWING:

- 1) ORGANIC AND VEGETABLE BASED BINDERS—NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTIC EFFECT ON THE IMPLANTED GROWING PLANTS. THE RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS, MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- 2) SYNTHETIC BINDERS—HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- 3) WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED. A HYDROPHOBIC AGENT IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

6. MULCH MAY BE USED IN PLACE OF TEMPORARY SEEDING IF SPREAD AT A RATE OF 2.0 TO 2.5 TONS PER ACRE AND ANCHORED AS DISCUSSED ABOVE. A MULCH ANCHORING TOOL MAY BE USED WHERE CONDITIONS PERMIT. TOOL PENETRATION SHALL BE DONE ABOUT 3 TO 4 INCHES, ON SLOPING LAND, THE OPERATION SHALL BE DONE ON THE CONTOUR.
7. TEMPORARY SEED MIX SHALL BE PERENNIAL RYEGRASS WITH A RATE OF 40 LBS/ACRE OR 1 LB/1000 S.F. SEED MIX SHALL BE APPLIED UNIFORMLY. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED. EXCEPT FOR DRILLED SEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING.
8. SEEDING MIX SHALL BE APPLIED BETWEEN 3/1 - 5/15 OR 8/15 - 10/1 WHEN REQUIRED. IF STABILIZATION IS REQUIRED OUTSIDE THESE SEEDING DATES, MULCH SHALL BE USED AS DEFINED ITEM NO. 6.

IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE COVER, ALL EXPOSED AND DISTURBED SOILS. PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:

1. TOPSOILING: THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 5 INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY AND OF GOOD QUALITY.
2. FERTILIZER: SHALL BE APPLIED AT A RATE OF 500 LB/ACRE OF 11 LBS/1000 S.F. OF 10-20-20 OR EQUIVALENT. IN ADDITION, 300 LBS OR 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING.
3. LIMESTONE: SHALL BE APPLIED AT A RATE OF 3 TONS/ACRE 135 LBS/1000 S.F. LIMESTONE EQUIVALENT OF 50% CALCIUM PLUS MAGNESIUM OXIDES SHALL BE USED.
4. LIME AND FERTILIZER: SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 5 INCHES UNTIL A REASONABLE UNIFORM, FINE SEEDBED PREPARED.
5. MULCHING: SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNROTTED, SMALL GRAIN STRAW, HALF FEE OF SEEDS, OR SALT HAY TO BE APPLIED AT A RATE OF 1 1/2 TO 2 TONS PER ACRE (70 LBS TO 90 LBS/1000 S.F.), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE 3 TONS/ACRE
6. MULCHING SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY THE FOLLOWING METHOD: LIQUID MULCH BINDERS
7. TOPDRESSING: AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 LBS/ACRE OR 10 LBS/1000 S.F. BETWEEN SEPTEMBER AND OCTOBER 15 SHALL BE REQUIRED FOR SPRING SEEDING UNLESS A SLOW RELEASE NITROGEN IS USED AS STATED ABOVE.

DURING CONSTRUCTION ACTIVITY THE FOLLOWING METHODS SHOULD BE CONSIDERED

- A. CALCIUM CHLORIDE -- SHALL BE IN A LOOSE, DRY GRANULAR FORM FINE ENOUGH TO USE IN A STANDARD SEED SPREADER, AT A RATE THAT WILL KEEP THE SUBJECT SURFACE MOIST, BUT NOT CAUSE PLANT DAMAGE OR POLLUTION BY SATURATION IF USED ON STEEP SLOPES OTHER MEASURES SHALL BE TAKEN TO INSURE PROTECTION FROM EROSION. STORAGE OF CHLORIDE SHOULD BE IN CONTAINERS TO PREVENT ACCUMULATING AROUND PLANT LIFE.
- B. SPRINKLING -- SHALL BE OF NON-CONTAMINATING WATER SPRINKLED AT A RATE TO WET THE SUBJECT SURFACE, BUT NOT TO CAUSE EROSION OR PONDING -- IMPOUNDMENT.

OTHER METHODS ACCEPTABLE ARE LISTED IN THE CURRENT EDITION OF THE NEW JERSEY DEPARTMENT OF AGRICULTURE'S "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY."

1. MOBILIZATION	
2. CONSTRUCT TEMPORARY SOIL EROSION & SEDIMENT CONTROL FACILITIES	1 DAY
3. CONSTRUCT SOLAR PANEL ARRAY & EQUIPMENT	2 MONTHS
4. COLLECT SILT & SEDIMENT AND PLACE ON SITE	1 DAY
5. ESTABLISH PERMANENT COVER AND LANDSCAPE	1 WEEK
6. REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES	1 DAY
TOTAL ESTIMATED TIME OF CONSTRUCTION	<u>2.5 MONTHS ±</u>

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM SUBMITTED FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

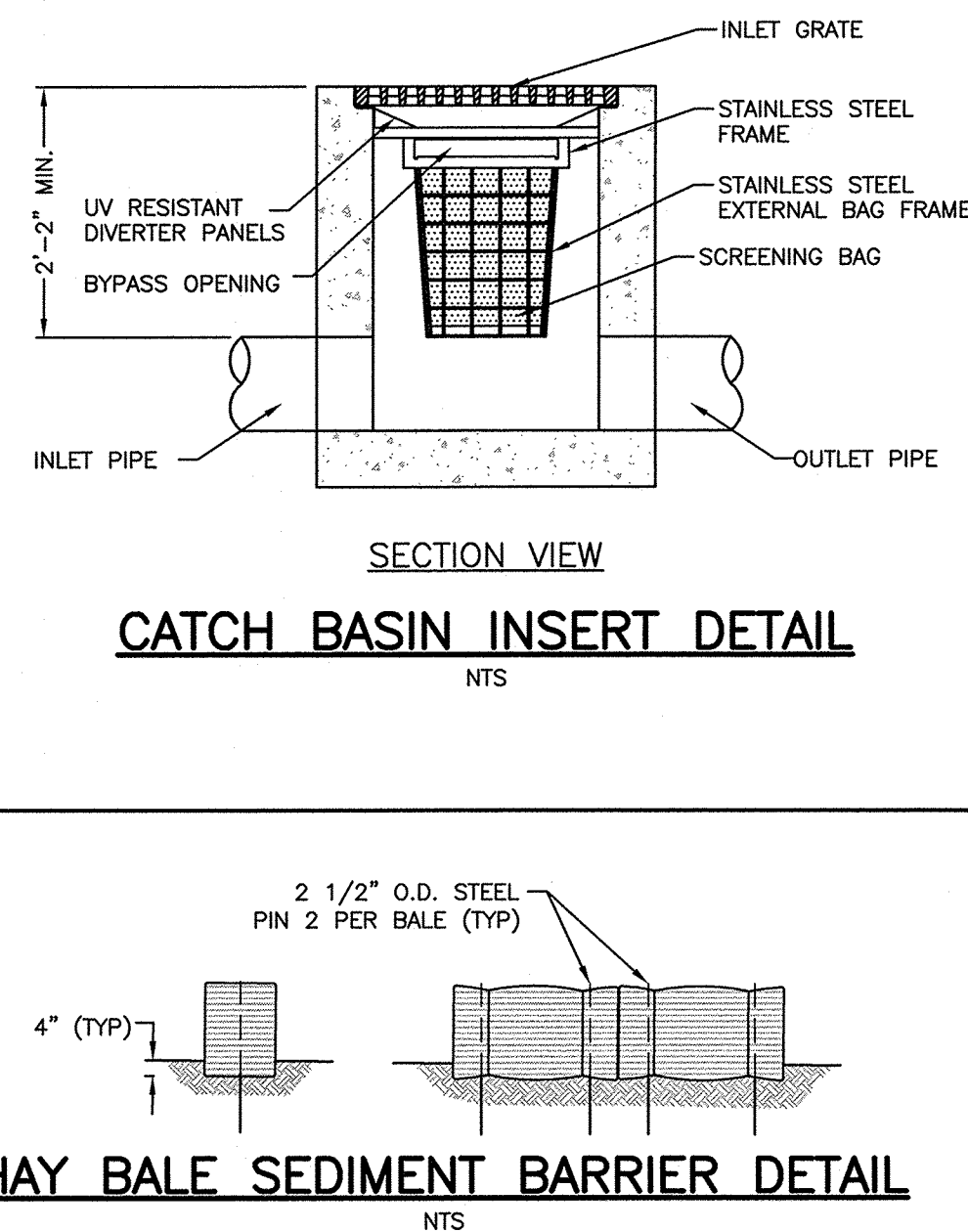
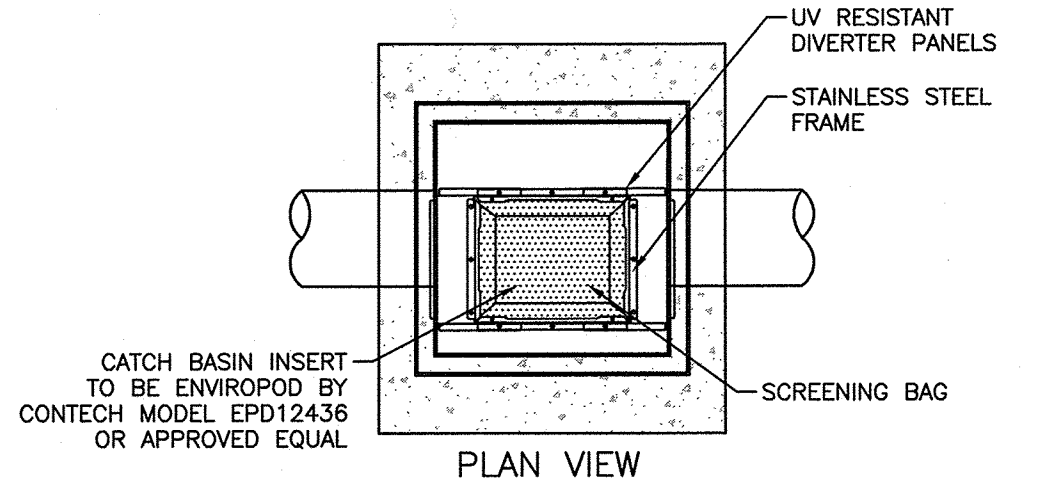
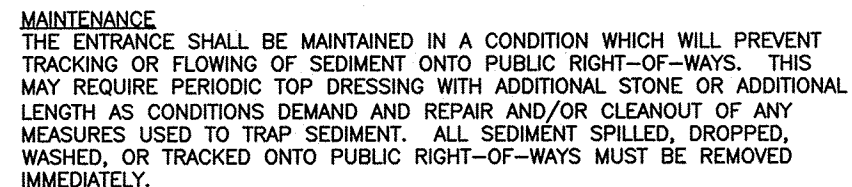
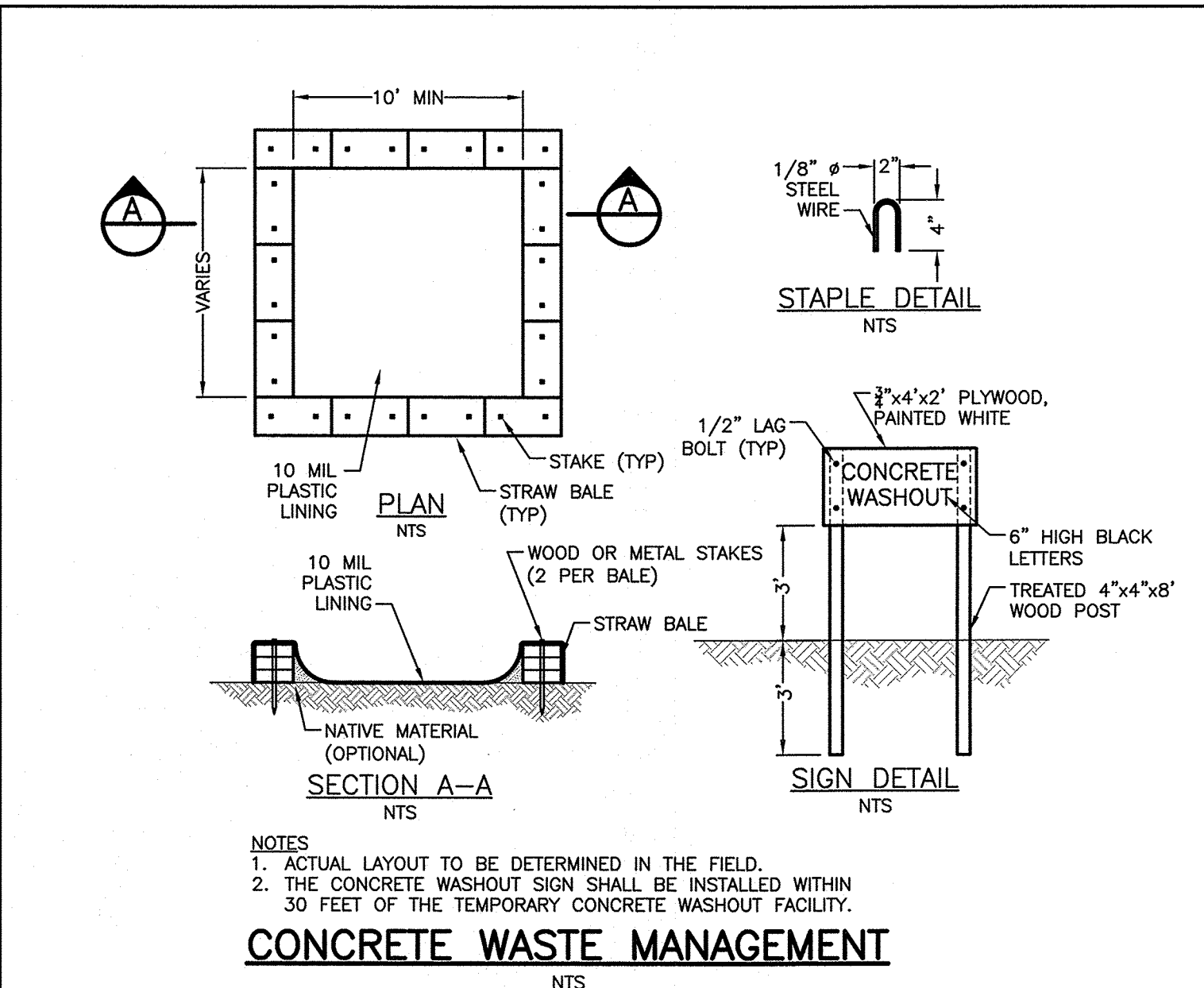
NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PROVIDE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

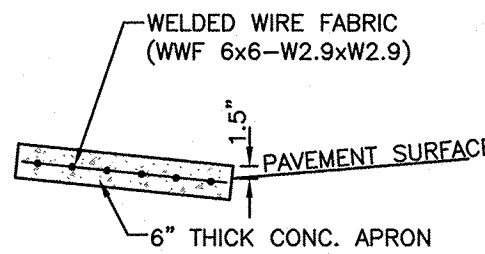
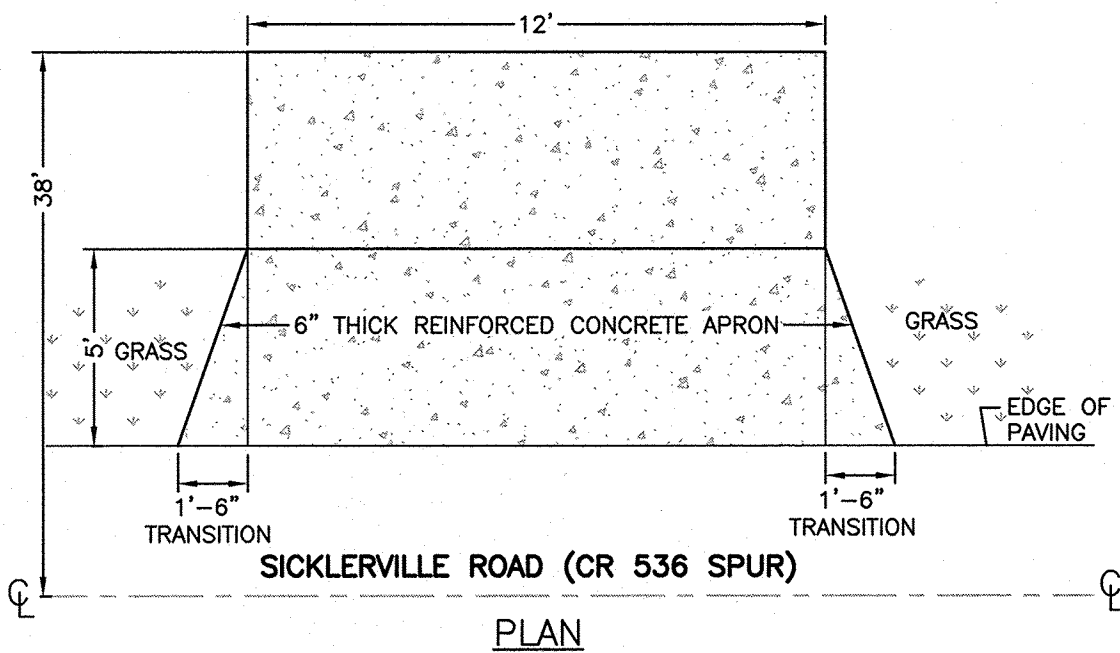
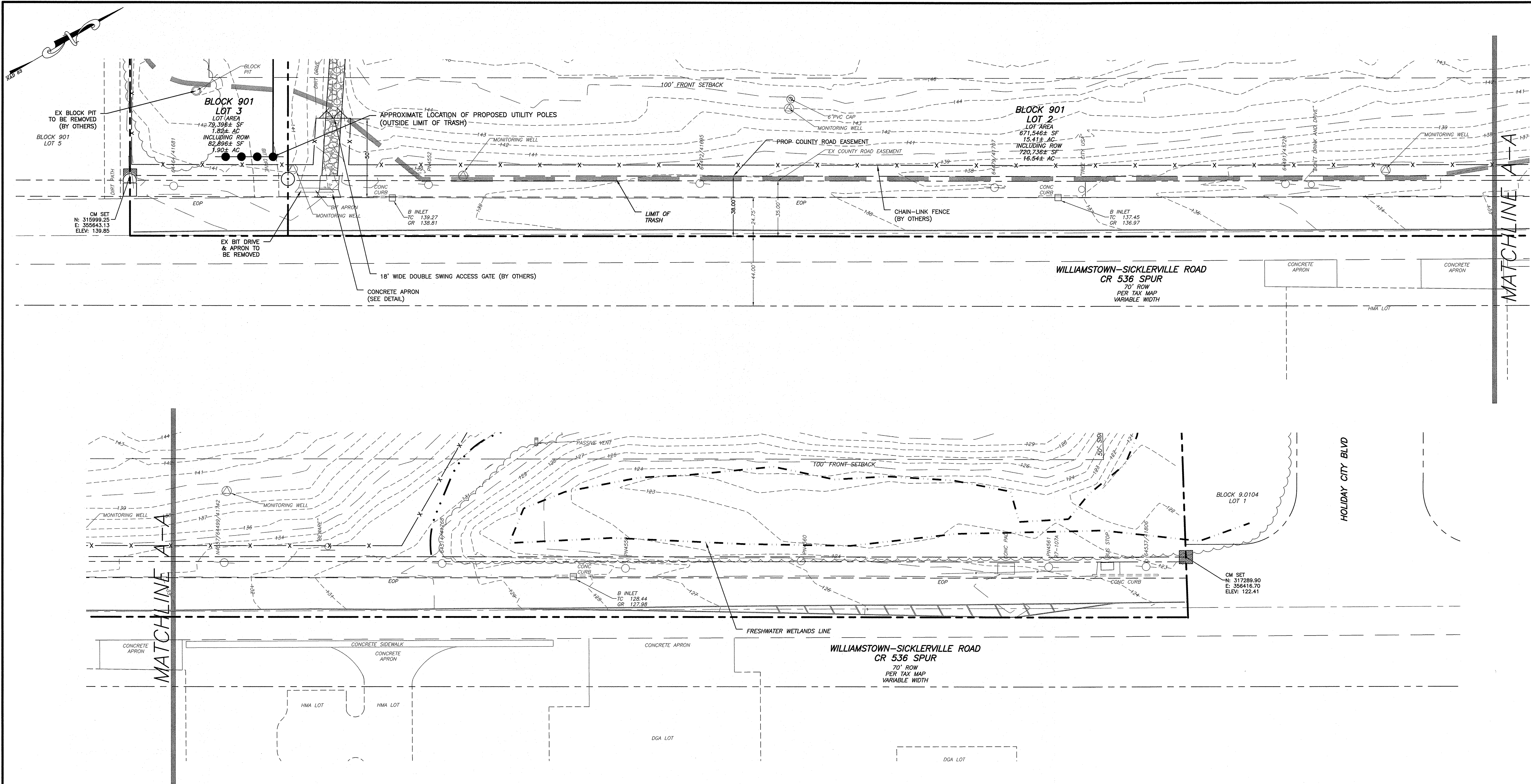
SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS APPROVED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



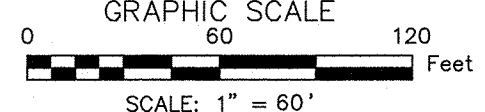


NOTE: CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3700 PSI (NUDOT CLASS B).

CONCRETE DRIVEWAY APRON DETAIL

LEGEND

- PROPERTY OUTBOUND
- EXISTING CENTERLINE
- EXISTING LOT LINE
- FRESHWATER WETLANDS LINE
- 50' WETLANDS BUFFER LINE
- EXISTING TREELINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 1" INTERVAL CONTOUR LINE
- EXISTING UTILITY POLE
- LIMIT OF TRASH
- EXISTING STORM SEWER AND INLET
- EXISTING MONITORING WELL
- EXISTING SIGN
- EXISTING CAP
- EXISTING PASSIVE VENT



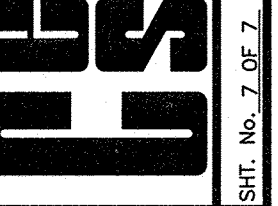
COUNTY ROAD PLAN & DETAILS

MONROE - SICKLERVILLE ROAD LF SOLAR

BLOCK 901, LOTS 2 & 3

TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
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NJ CERTIFICATE OF AUTHORIZATION NO. 240278770



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PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04422200

DATE	REVISIONS
8/17/20	