

THE GREENS

PLATE 148, BLOCK 14801, LOT 12

MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PRELIMINARY/FINAL MAJOR SUBDIVISION PLAN

PROPERTY OWNERS LIST

MONROE TOWNSHIP - WASHINGTON TOWNSHIP
(March 3, 2020)

BLOCK	LOT	NAME/ADDRESS	BLOCK	LOT	NAME/ADDRESS
MONROE TOWNSHIP					
142.01	1.2,3	MOVROS STIRLING CLEN LLC 200 BIRCHFIELD DRIVE MT. LAUREL, NJ 08054			
142.01	1.01	EROSIUS, DONALD AND EVELYN 2898 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
142.01	1.02	EROSIUS, DONALD H. AND MICHELLE 2864 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
142.01	1.03	MOURACO, DA H. 2848 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
142.01	4	CORDON, MARCO H. & WESLEY D. 12 SPERRY DRIVE WILLIAMSTOWN, NJ 08094			
142.01	5	MADDOX, MICHAEL P. & SUSAN V. 18 SPERRY DRIVE WILLIAMSTOWN, NJ 08094			
14701	1	AMERI AUTO INC. 233 WASHINGTON ROAD BERLIN, NJ 08009			
14701	1.02	CAROZZO, DOMENIC J. & LISA & SOMECA 2922 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
14801	10, 11, 13	KUHN, EDWARD F. JR. & THERESA M. 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
14801	12.01 12.02	MONROE EQUITIES, LLC C/O CVS 1 CVS DRIVE WOODBRIDGE, NJ 07095			
14801	13.02 27.02	BURDO, LINDA & MICHAEL C. FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
WASHINGTON TOWNSHIP					
85.09	1	MAGLIC, PATRICIA A. 2 APPLETREE LANE SEWELL, NJ 08080			
85.09	2	HUESLER, THOMAS B. & JANE G. APPLETREE LANE SEWELL, NJ 08080			
85.09	46.01	TOWNSHIP OF WASHINGTON PO BOX 1106 TURNERSVILLE, NJ 08012			
85.14	41	KEIRIGAN, ROBERT M. & ANITA B. 3 APPLETREE LANE SEWELL, NJ 08080			
85.14	42	SCHERER, FRANK 33 CEDARS LANE TURNERSVILLE, NJ 08012			
85.14	43	TOWNSHIP OF WASHINGTON PO BOX 1106 TURNERSVILLE, NJ 08012			
85.19	71	MYNTON, BRIAN & MARIA 22 ORCHARDVIEW DRIVE SEWELL, NJ 08080			
85.21	7	THE TRIMPH FAMILY LP 2791 FRIES MILL ROAD WILLIAMSTOWN, NJ 08094			
85.21	14	SHALL ADEL GAD & BENYAMIN, GHAN 21 ORCHARDVIEW DRIVE SEWELL, NJ 08080			

UTILITY COMPANIES

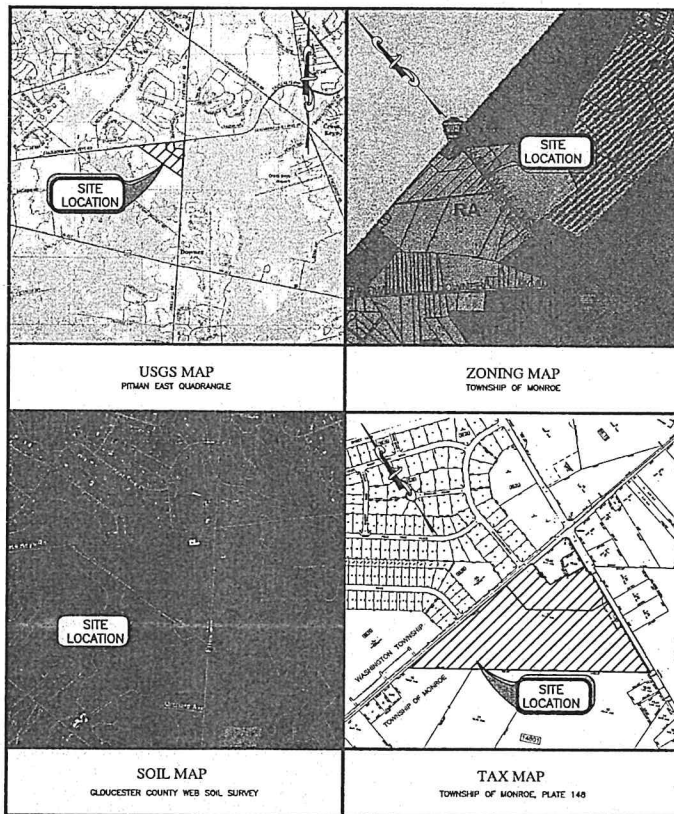
<p>ELECTRIC ATLANTIC CITY ELECTRIC JOSEPH B. RIDING, MGR. 5100 HARDING HIGHWAY MAYS LANDING, NJ 08330</p> <p>PSE&G MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102</p> <p>GAS COMPANY SOUTH JERSEY GAS 1 SOUTH JERSEY PLAZA FOLSOM, NJ 08037</p> <p>CABLE COMCAST CABLE CO. 301 SOUTH MAIN ROAD VINELAND, NJ 08360 ATTN: CONSTRUCTION DEPARTMENT</p>	<p>TELEPHONE VERIZON NEW JERSEY 9 GATES AVENUE MONTCLAIR, NJ 07042</p> <p>SEWER & WATER DEPT MONROE MUA 372 SOUTH MAIN STREET WILLIAMSTOWN, NJ 08094</p> <p>GAS PSE&G MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102</p>
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PLANNING BOARD CHAIRPERSON	DATE
PLANNING BOARD SECRETARY	DATE
GLOUCESTER ENGINEER	DATE
GLOUCESTER COUNTY PLANNING BOARD CHAIRMAN	DATE

I HEREBY CERTIFY THAT I AM THE OWNER AND APPLICANT OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

OWNER/APPLICANT NAME _____ DATE _____

OWNER/APPLICANT:
N.W.D. DEVELOPMENT, L.L.C.
701 COOPER STREET, SUITE 7, VOORHEES, NEW JERSEY
856.346.4400



INDEX OF SHEETS

SHT. NO.	DESCRIPTION	ORIG. DATE	LAST REV.
1.	COVER SHEET	04/01/20	06/24/20
2.	EXISTING CONDITIONS/DEMOLITION PLAN - SHEET A	04/01/20	
3.	EXISTING CONDITIONS/DEMOLITION PLAN - SHEET B	04/01/20	
4.	SURROUNDING SITE FEATURES PLAN	04/01/20	
5.	OVERALL DEVELOPMENT SECTIONING/TRAFFIC CIRCULATION PLAN	04/01/20	06/24/20
6.	SUBDIVISION PLAN - SHEET A	04/01/20	06/24/20
7.	SUBDIVISION PLAN - SHEET B	04/01/20	06/24/20
8.	SUBDIVISION PLAN - SHEET C	04/01/20	06/24/20
9.	GRADING & DRAINAGE PLAN - SHEET A	04/01/20	06/24/20
10.	GRADING & DRAINAGE PLAN - SHEET B	04/01/20	06/24/20
11.	UTILITY PLAN - SHEET A	04/01/20	06/24/20
12.	UTILITY PLAN - SHEET B	04/01/20	06/24/20
13.	DRAINAGE DIVIDE PLAN - SHEET A	04/01/20	
14.	DRAINAGE DIVIDE PLAN - SHEET B	04/01/20	06/24/20
15.	LANDSCAPING & LIGHTING PLAN - SHEET A	04/01/20	06/24/20
16.	LANDSCAPING & LIGHTING PLAN - SHEET B	04/01/20	06/24/20
17.	LANDSCAPING & LIGHTING NOTES & DETAILS	04/01/20	06/24/20
18.	ROAD PROFILES	04/01/20	
19.	PROFILES	04/01/20	
20.	PROFILES	04/01/20	
21.	CONSTRUCTION DETAILS - SHEET A	04/01/20	
22.	CONSTRUCTION DETAILS - SHEET B	04/01/20	
23.	STORM SEWER DETAILS - SHEET A	04/01/20	
24.	STORM SEWER DETAILS - SHEET B	04/01/20	
25.	STORM SEWER DETAILS - SHEET C	04/01/20	
26.	SANITARY SEWER DETAILS	04/01/20	
27.	WATER DETAILS	04/01/20	
28.	SOIL EROSION SEDIMENT CONTROL PLAN - SHEET A	04/01/20	06/24/20
29.	SOIL EROSION SEDIMENT CONTROL PLAN - SHEET B	04/01/20	06/24/20
30.	SOIL EROSION SEDIMENT CONTROL NOTES & DETAILS	04/01/20	
31.	TEST PIT LOGS	04/01/20	

SITE DATA

- THE PROPERTY IN QUESTION IS KNOWN AS LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
- PROPERTY IN QUESTION CONTAINS: 38,982 AC.
- PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL.
- PRESENT LAND USE: VACANT
- PROPOSED LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (30-TRIplex BUILDINGS) ON 31.21 ACRES, NEIGHBORHOOD COMMERCIAL ON 7.77 ACES.
- EXISTING LOTS: 1 PROPOSED LOTS: 123
- OUTBOUND AND TOPOGRAPHY IS BASED UPON PLAN ENTITLED PLAN OF SURVEY & TOPOGRAPHY, THE GREENS, PLATE 148, BLOCK 14801, LOT 12, MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY PREPARED BY CONSULTING ENGINEER SERVICES, DATED 03/31/20.
- FIELD INSPECTION AND LOCATIONS PERFORMED BY CONSULTING ENGINEER SERVICES, DECEMBER 2019.
- THERE ARE NO WETLANDS ON SITE AS PUBLISHED ON NJ-GEOWEB.
- VERTICAL DATUM SHOWN IS NAVD83, BASED UPON GPS OBSERVATIONS AND CORPUSCON CONVERSION. TO CONVERT ELEVATIONS TO NAVD83, SUBTRACT 1.30 FEET FROM ELEVATIONS SHOWN HEREON.
- HORIZONTAL DATUM SHOWN HEREON IS NAD83 MAPS, REFERENCED TO DEED BOOK 5606, PAGE 316, RECORDED IN 2017.
- TRASH REMOVAL AND RECYCLING OPERATIONS FOR THIS SITE MUST ADHERE TO THE TOWNSHIP ORDINANCE.
- THE CONTRACTOR IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (4) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (I) (OSHA COMPETENT PERSON).
- AERIAL IMAGE FROM THE NAD83 2015 ORTHOMOSAIC, SOIL INFORMATION TAKEN FROM THE SOIL SURVEY GEOGRAPHIC (SSURGO) DATABASE, DEVELOPED AND MAINTAINED BY THE NATURAL RESOURCES CONSERVATION SERVICES (NRCS).
- PROPERTY IS LOCATED ENTIRELY WITHIN ZONE "K" AREA OF MINIMAL FLOODING, AS PER FEMA, TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY, FIRM COMMUNITY PANEL NUMBER 34015C0208C, PANEL 208 OF 320, DATED 01/28/2016.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "TONE CALL LAW," OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-372-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARKOUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.

DESCRIPTION	REQUIRED	PROPOSED	X
MINIMUM TRACT AREA	20 AC	31.31 AC	
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	
MINIMUM LOT AREA	2,000 SF	2,000 SF	
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR)	X
		4,675 SF (END UNIT)	X
MINIMUM LOT DEPTH	100 FT	110 FT	
MINIMUM LOT WIDTH	20 FT	30 FT	
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (END UNITS)	25 FT	12.5 FT	X
		25 FT BETWEEN BLDGS	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	
MINIMUM WALL TO ROW OR PAVEMENT	12 FT	12 FT	
MINIMUM BLDG WALL TO PERIMETER LOT LINE	50 FT	50 FT	
VARIETY OF UNIT WIDTHS	20-24 FT (20%+80%)	30 FT ALL UNIT	X
	28-30 FT (20%)	30 FT ALL UNITS	X
MAXIMUM LOT COVERAGE	75%	75%	
MAXIMUM BLDG HEIGHT	35 FT	35 FT	
MAXIMUM UNITS PER BUILDING	10 UNITS	3 UNITS	
BUFFERS	50 FT	50 FT	
OPEN SPACE (RESIDENTIAL)	35% TRACT	45% (SUMMER REQ'D TO INCLUDE STORM WATER MANAGEMENT FACILITIES IN OPEN SPACE CALC)	X

PARKING REQUIREMENTS:
REQUIRED: 2.4 SP PER 3 BDRM THIRDS
2.4 SP/DU X 117 DU = 280.8 SPACES REQUIRED
PROVIDED: 1 GARAGE, 2 DRIVE PER UNIT = 3 SPACES (SP) PER DWELLING UNIT (DU)
3 SP/DU X 117 DU = 351 SP
ON STREET PARKING = 58
CLUB HOUSE: 2065 SF 26 SPACES
WATER REQUESTED:

INDEX OF SHEETS

SHT. NO.	DESCRIPTION	ORIG. DATE	LAST REV.
1 OF 1	PLAN OF SURVEY & TOPOGRAPHY THE GREENS SUBDIVISION	03/31/20	
1 OF 4	FINAL PLAN OF LOTS - SECTION 1 - SHEET 1	04/02/20	06/24/20
2 OF 4	FINAL PLAN OF LOTS - SECTION 1 - SHEET 2	04/02/20	06/24/20
3 OF 4	FINAL PLAN OF LOTS - SECTION 2	06/24/20	
4 OF 4	FINAL PLAN OF LOTS - SECTION 3	06/24/20	

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
856.228.2200

DATE: 06/24/20
DATE: 06/24/20
DATE: 06/24/20
DATE: 06/24/20

PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GED0749300

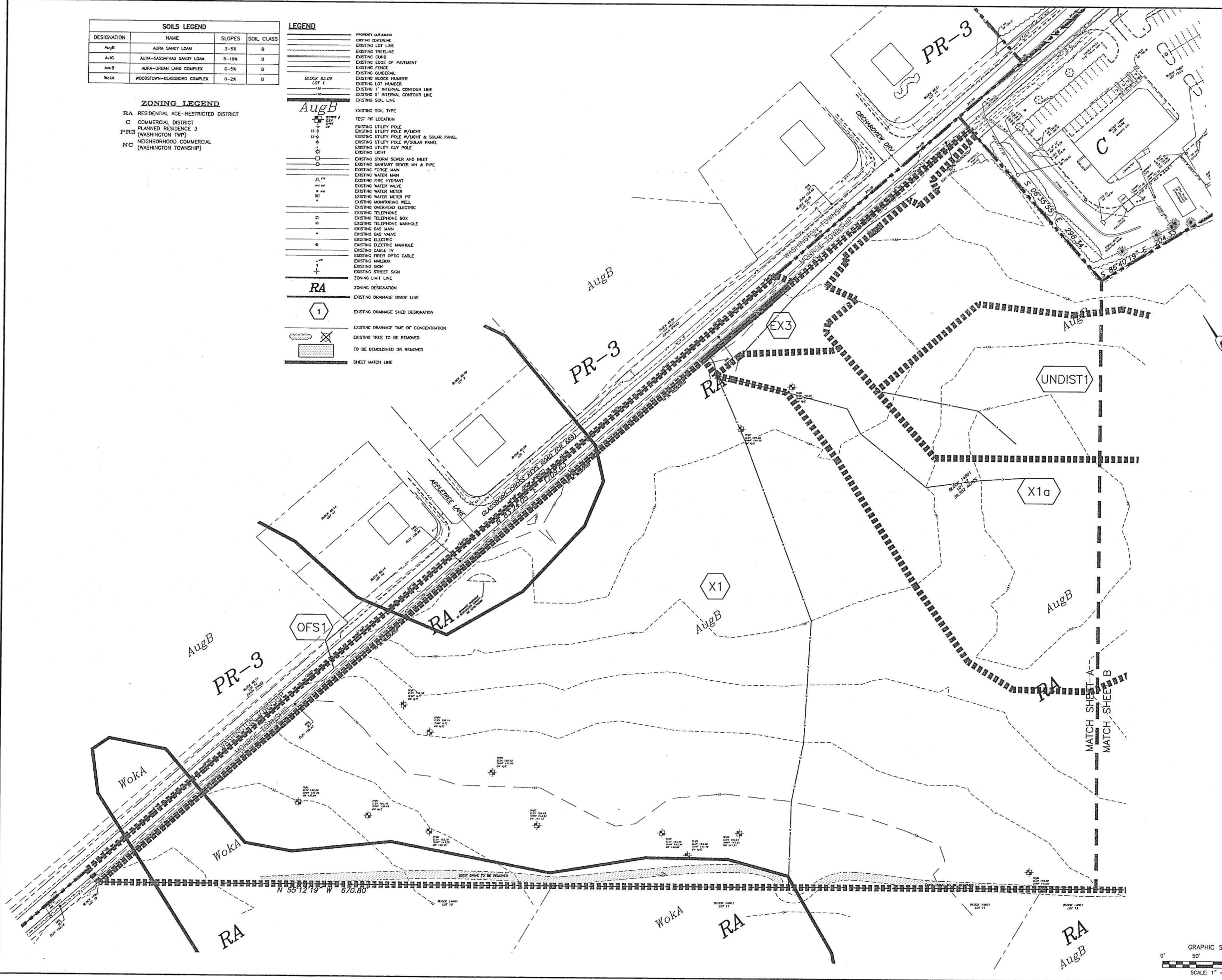
COVER SHEET
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE: (908) 444-1100 FAX: (908) 444-1101
WWW.CESNJ.COM
NJ STATE BOARD OF PROFESSIONAL ENGINEERING AND SURVEYING REGISTRATION NO. 24GED0749300

SOILS LEGEND			
DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AugC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AugD	AURA-URBAN LAND COMPLEX	0-5%	B
WokA	WOODSTOWN-GLASSBORO COMPLEX	0-2%	D

ZONING LEGEND
 RA RESIDENTIAL AGE-RESTRICTED DISTRICT
 C COMMERCIAL DISTRICT
 PR3 PLANNED RESIDENCE 3 (WASHINGTON TWP)
 NC NEIGHBORHOOD COMMERCIAL (WASHINGTON TOWNSHIP)

LEGEND	
	PROPERTY OUTLINES
	EXISTING COVERAGE
	EXISTING LOT LINE
	EXISTING TREE LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING QUASI-SETBACK
	EXISTING BLOCK NUMBER
	EXISTING LOT NUMBER
	EXISTING 1' INTERNAL CONTOUR LINE
	EXISTING 5' INTERNAL CONTOUR LINE
	EXISTING SOIL LINE
	EXISTING SOIL TYPE
	TEST PIT LOCATION
	EXISTING UTILITY POLE
	EXISTING UTILITY POLE W/LIGHT & SOLAR PANEL
	EXISTING UTILITY POLE W/SOLAR PANEL
	EXISTING UTILITY POLE W/SOLAR PANEL
	EXISTING UTILITY POLE W/SOLAR PANEL
	EXISTING LIGHT
	EXISTING STORM SEWER AND INLET
	EXISTING SANITARY SEWER IN & PIPE
	EXISTING FORCE MAIN
	EXISTING WATER MAIN
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING WATER METER PIT
	EXISTING MONITORING WELL
	EXISTING OVERHEAD ELECTRIC
	EXISTING TELEPHONE
	EXISTING TELEPHONE BOX
	EXISTING TELEPHONE MANHOLE
	EXISTING GAS MAIN
	EXISTING GAS VALVE
	EXISTING ELECTRIC
	EXISTING ELECTRIC MANHOLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING STREET SIGN
	ZONING LIMIT LINE
	ZONING DESIGNATION
	EXISTING DRAINAGE DIVIDE LINE
	EXISTING DRAINAGE SHED DESIGNATION
	EXISTING DRAINAGE TIME OF CONCENTRATION
	EXISTING TREE TO BE REMOVED
	TO BE DEMOLISHED OR REMOVED
	SHEET MATCH LINE



DATE: 04/2/2020
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, NJ LIC. NO. 24G504335700
 DATE: 04/2/2020
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24G604749300

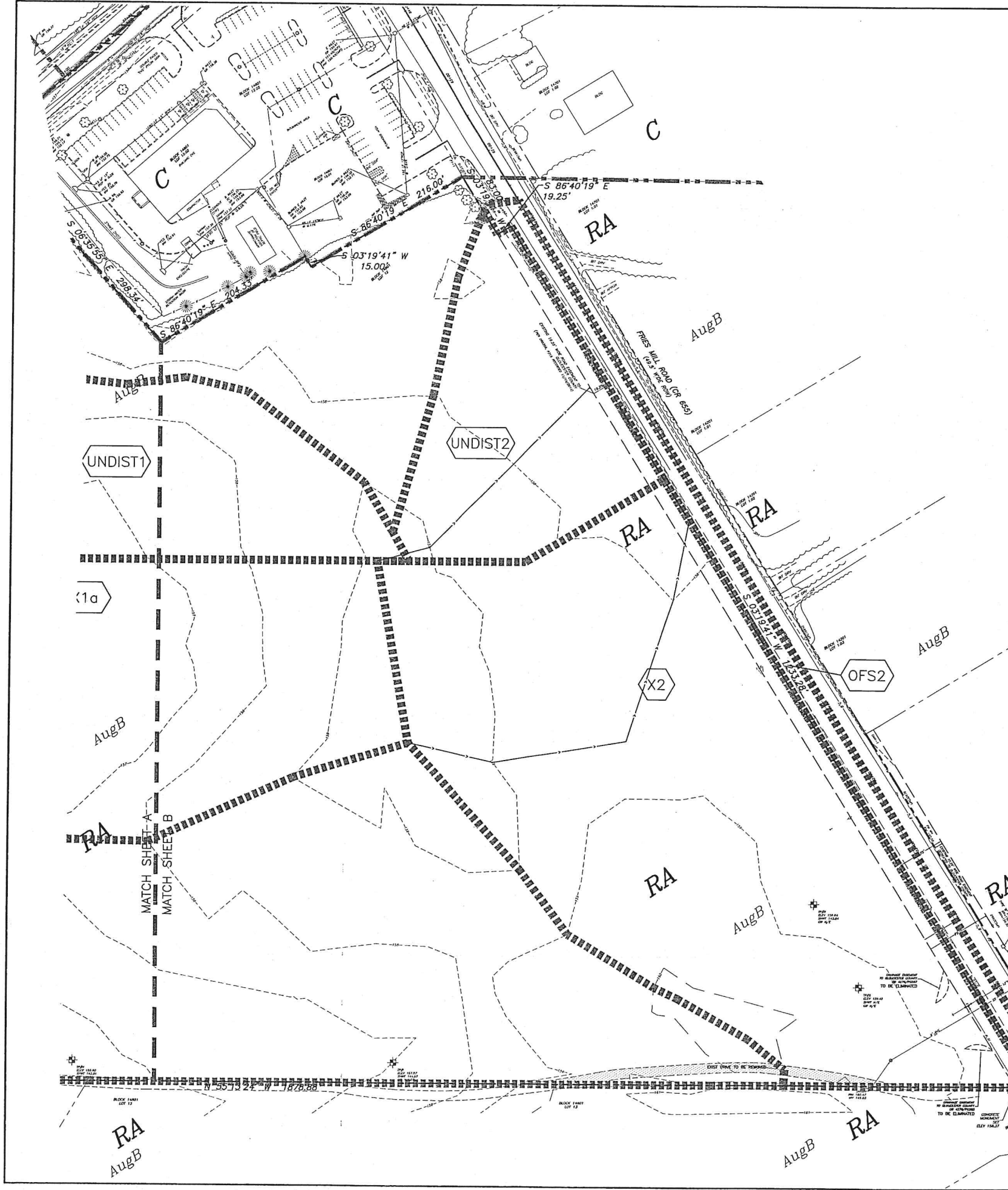
NO.	DATE	REVISIONS

EXISTING CONDITION/DEMOLITION PLAN - SHEET A
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 648 BEDFORD ST. SUITE 300, ROCKERTVILLE, NEW JERSEY 08081
 PHONE: (609) 426-1100 FAX: (609) 426-1101
 NJ CERTIFICATE OF AUTHORIZATION NO. 24G3787700
 DATE: 04/02/2020 SCALE: 1"=50' CES No. 2262-02 FILE No. 2262-02-001 DRAWN BY: JAM



File: 20200420-0148-01234-01_001.dwg, 04/02/2020



- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW" (OCTOBER 1994). THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARK THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
 2. ALL ELECTRICAL FACILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE STATE OR LOCAL REGULATIONS. ALL WORK AT UTILITY POLES SHALL BE COORDINATED WITH PROPER ELECTRIC COMPANY.
 3. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND OBJECTS THAT ARE TO REMAIN SO AS TO AVOID DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY CONTRACTOR OPERATIONS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 4. APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COUNTY SOIL CONSERVATION DISTRICT.
 5. NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S). ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
 6. ANY TRENCH REPLACEMENT AND RESTORATION DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARDS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING AND CONCRETE, AS WELL AS TOPSOILING, SEEDING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN STATE ROADS SHALL MEET THE REQUIREMENTS OF THE STATE ENGINEER.
 8. THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.
 9. THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 10. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
 11. ALL DEBRIS, RUBBISH, INCLUDING HAZARDOUS WASTE, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 12. IN LOCATIONS WHERE CONCRETE AND PAVEMENT, TO BE REMOVED, ADJUT SURFACES OF LIKE MATERIALS, THE CONCRETE AND PAVEMENT SHALL BE SAW CUT ALONG THE LIMITS OF REMOVAL TO LEAVE A CLEAN, EVEN EDGE REMAINING WHERE SUCH MATERIALS ARE TO REMAIN IN PLACE. AT ALL LOCATIONS WHERE EXISTING BUILDINGS AND FOUNDATIONS ARE TO BE REMOVED, THE EXPOSED SURFACES SHALL BE PROOF ROLLED AND COVERED WITH A 15 TON SELF-PROPELLED WHELMATORY COMPACTOR. THE DENSITY OF 95% OF MOISTURE PROCTOR SHALL BE ACHIEVED PRIOR TO ANY PROPOSED CONSTRUCTION.
 13. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (4) OF THE NJ UNIFORM CONSTRUCTION CODE AND CIR 1928.32 (f) (OSHA COMPETENT PERSON).
 14. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE THE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
 15. THE INSPECTION OF OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
 16. IF ENCOUNTERED, DEMOLITION PERMIT AND WELL/SEPTIC SYSTEM CLOSURE PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 17. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND SURFACE, BEFORE PROCEEDING WITH CONSTRUCTION. BEFORE OR DURING THE WORK, EXISTING UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY EXCAVATION OPERATIONS UNLESS HE HAS DETERMINED THE EXACT LOCATION OF ALL EXISTING UTILITY FACILITIES. WITHIN THE PROPERTY FROM SURFACE SITE INVESTIGATIONS, INCLUDING TEST PITS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF THEIR EXAMINATION, EXTENT, AND COMPLETION TO COMPLETE THE WORK.
 19. THE CONTRACTOR SHALL PROTECT, SUPPORT AND SECURE ALL IN-PLACE UTILITY FACILITIES SO AS TO AVOID DAMAGE TO THEM AND ANY INTERRUPTION OF SERVICE. THE CONTRACTOR SHALL NOT TEMPORARILY MOVE EXISTING OR COMPLETED UTILITY FACILITIES WITHOUT THE WRITTEN CONSENT OF THE FACILITY OWNER. AS SOON AS SAFE AND PERMANENT ALTERNATION AS THEY WERE BEFORE THE CONTRACTOR'S INVOLVEMENT, THE EVENT THE CONTRACTOR DAMAGES A UTILITY FACILITY, INCLUDING PROPERTY SERVICE CONNECTIONS, THE CONTRACTOR SHALL NOTIFY THE UTILITY IMMEDIATELY. THE UTILITY MUST COMPLETE THE REPAIRS OR ALLOW THE CONTRACTOR TO COMPLETE THE REPAIRS, WITH THE CONTRACTOR RESPONSIBLE FOR ANY APPLICABLE TARIFFS AND EXPENSES.
 20. EXCAVATIONS SHALL BE SHORTEL BRACKETED AND SHEATHED AS CONDITIONS WARRANT. IF CLOSE TO EXISTING PAVEMENT, SIDEWALKS, CURBS, PISCS, RAILROADS OR STRUCTURES OF ANY KIND, THE EXCAVATION SHALL BE SUPPORTED BY SHEET PILING OR OTHER METHODS SO THAT SUCH FACILITIES AND STRUCTURES ARE PROTECTED. NO ADDITIONAL PAYMENT WILL BE MADE FOR SHORTEL BRACKETING OR SHEATHING.

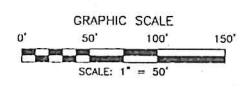
SOILS LEGEND

DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AuC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AugB	AURA-URBAN LAND COMPLEX	0-5%	B
WoA	WOODSTOWN-GLASSBORO COMPLEX	0-2%	B

ZONING LEGEND

RA	RESIDENTIAL AGE-RESTRICTED DISTRICT
C	COMMERCIAL DISTRICT
PR3	PLANNED RESIDENCE 3 (WASHINGTON TWP)
NC	NEIGHBORHOOD COMMERCIAL (WASHINGTON TOWNSHIP)

- LEGEND**
- PROPERTY OUTLINE
 - EXISTING CENTERLINE
 - EXISTING LOT LINE
 - EXISTING FREELINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING FENCE
 - EXISTING CRUIERAL
 - EXISTING BLOCK NUMBER
 - EXISTING LOT NUMBER
 - EXISTING 1' INTERNAL CONTOUR LINE
 - EXISTING 5' INTERNAL CONTOUR LINE
 - EXISTING SOIL LINE
 - EXISTING SOIL TYPE
 - TEST PIT LOCATION
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE W/LIGHT
 - EXISTING UTILITY POLE W/SOLAR PANEL
 - EXISTING UTILITY POLE W/SOLAR PANEL
 - EXISTING UTILITY GUY POLE
 - EXISTING LIGHT
 - EXISTING STORM SEWER AND INLET
 - EXISTING SANITARY SEWER MH & PIPE
 - EXISTING FORCE MAIN
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING WATER METER PIT
 - EXISTING MONITORING WELL
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING TELEPHONE BOX
 - EXISTING TELEPHONE MANHOLE
 - EXISTING GAS MAIN
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC
 - EXISTING ELECTRIC MANHOLE
 - EXISTING CABLE TV
 - EXISTING FIBER OPTIC CABLE
 - EXISTING SIGN
 - EXISTING STREET SIGN
 - ZONING LIMIT LINE
 - EXISTING DRAINAGE OMBE LINE
 - EXISTING DRAINAGE SHED DESIGNATION
 - EXISTING THREE TO BE REMOVED
 - TO BE DEMOLISHED OR REMOVED
 - SHEET MATCH LINE



DATE: 01/30/20
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 246504335700

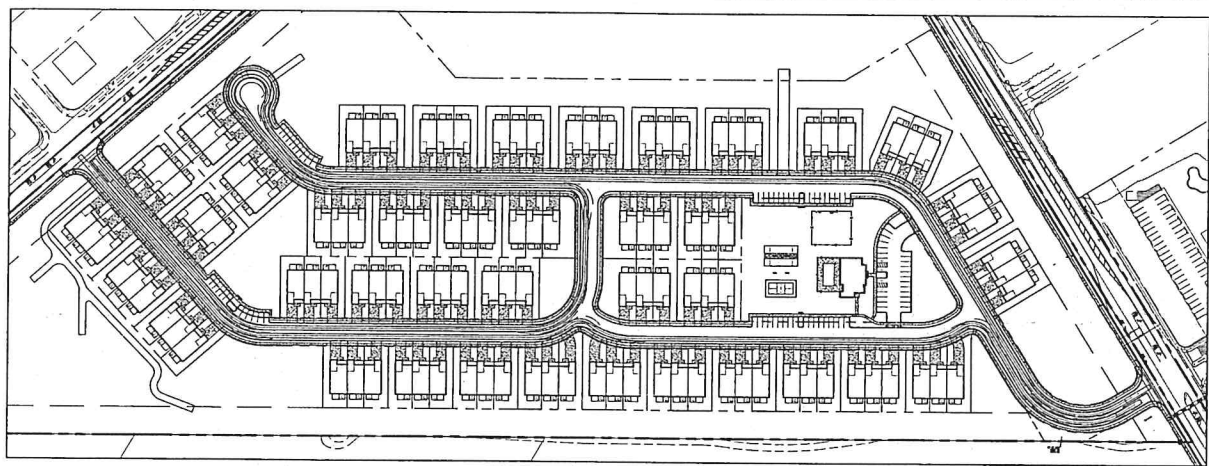
DATE: 01/30/20
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24604749300

EXISTING CONDITION/DEMOLITION PLAN - SHEET B

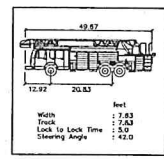
PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: SERVICES
 CONSULTING ENGINEER
 PROFESSIONAL ENGINEER
 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1100 FAX (609) 426-1101
 NJ CERTIFICATE OF AUTHORIZATION NO. 2402067700





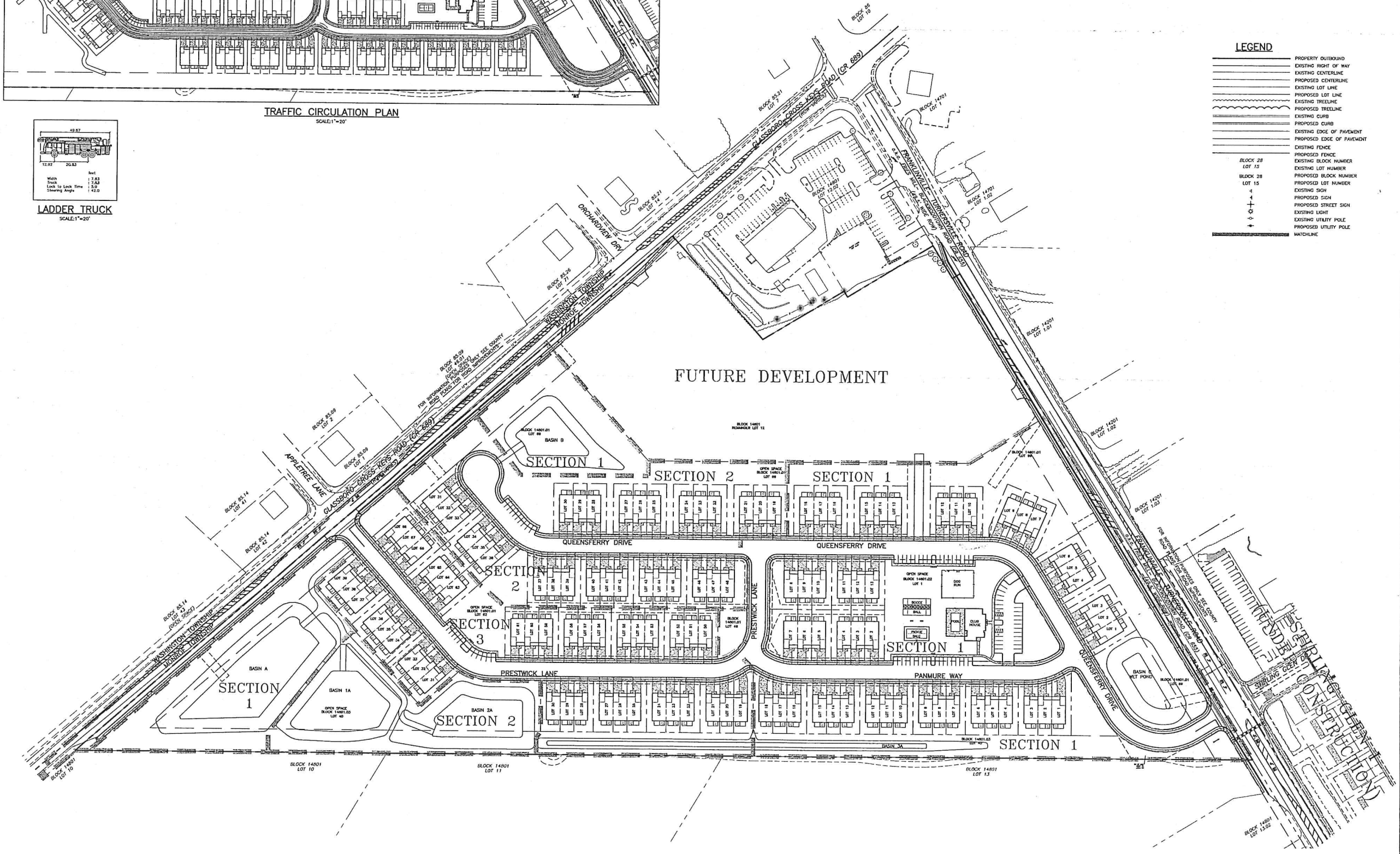
TRAFFIC CIRCULATION PLAN
SCALE: 1" = 20'



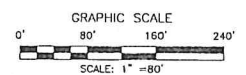
LADDER TRUCK
SCALE: 1" = 20'

LEGEND

	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BLOCK NUMBER
	EXISTING LOT NUMBER
	EXISTING BLOCK NUMBER
	EXISTING LOT NUMBER
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED STREET SIGN
	EXISTING LIGHT
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	MATCHLINE



FUTURE DEVELOPMENT



DATE: 04/23/20
PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

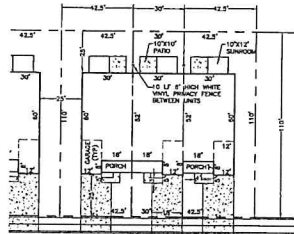
DATE	REVISIONS
07/17/20	REVISED SECTIONING
04/23/20	DATE
PAW	DATE

OVERALL DEVELOPMENT SECTIONING/
TRAFFIC CIRCULATION PLAN
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BELLEVILLE AVENUE, SUITE 200
PHILADELPHIA, PA 19106
PHONE (215) 261-2200 FAX (215) 232-2344 EMAIL info@cesnj.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GE04749300

DATE: 04/23/20 SCALE: 1" = 80' FILE NO.: 2002-032 DRAWN BY: JAW

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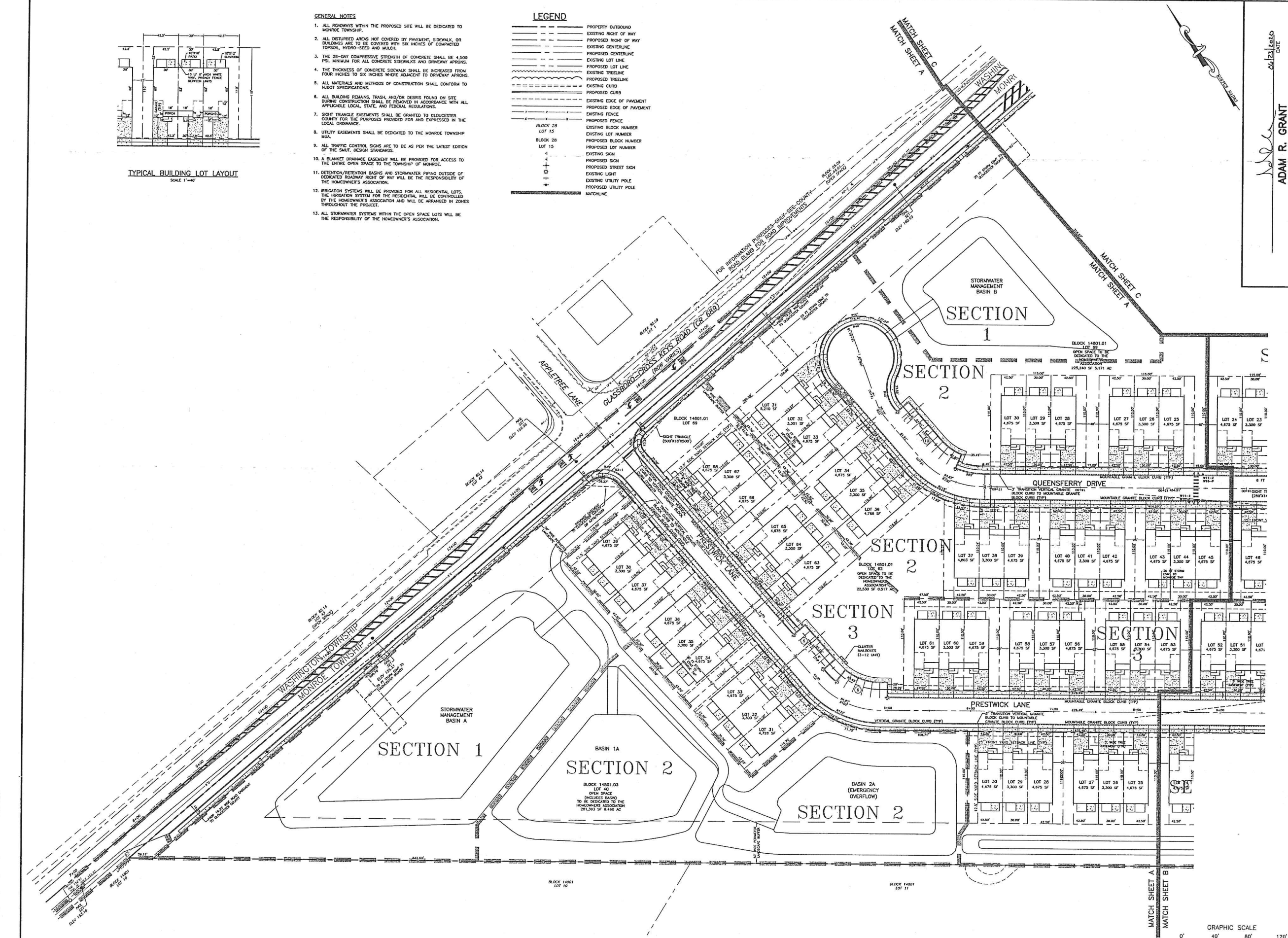
TYPICAL BUILDING LOT LAYOUT
SCALE 1"=40'

GENERAL NOTES

1. ALL ROADWAYS WITHIN THE PROPOSED SITE WILL BE DEDICATED TO MONROE TOWNSHIP.
2. ALL DISTURBED AREAS NOT COVERED BY PAVEMENT, SIDEWALK, OR BUILDINGS ARE TO BE COVERED WITH SIX INCHES OF COMPACTED TOPSOIL, HYDRO-SEED AND MULCH.
3. THE 28-DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4,500 P.S.I. MINIMUM FOR ALL CONCRETE SIDEWALKS AND DRIVEWAY APRONS.
4. THE THICKNESS OF CONCRETE SIDEWALK SHALL BE INCREASED FROM FOUR INCHES TO SIX INCHES WHERE ADJACENT TO DRIVEWAY APRONS.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NJDOT SPECIFICATIONS.
6. ALL BUILDING REMAINS, TRASH AND/OR DEBRIS FOUND ON SITE DURING CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
7. SIGHT TRIANGLE EASEMENTS SHALL BE GRANTED TO GLOUCESTER COUNTY FOR THE PURPOSES PROVIDED FOR AND EXPRESSED IN THE LOCAL ORDINANCE.
8. UTILITY EASEMENTS SHALL BE DEDICATED TO THE MONROE TOWNSHIP MAIN.
9. ALL TRAFFIC CONTROL SIGNS ARE TO BE AS PER THE LATEST EDITION OF THE SMUT, DESIGN STANDARDS.
10. A BLANKET DRAINAGE EASEMENT WILL BE PROVIDED FOR ACCESS TO THE ENTIRE OPEN SPACE TO THE TOWNSHIP OF MONROE.
11. DETENTION/RETENTION BASINS AND STORMWATER PAVING OUTSIDE OF DEDICATED ROADWAY RIGHT OF WAY WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
12. IRRIGATION SYSTEMS WILL BE PROVIDED FOR ALL RESIDENTIAL LOTS. THE IRRIGATION SYSTEM FOR THE RESIDENTIAL WILL BE CONTROLLED BY THE HOMEOWNER'S ASSOCIATION AND WILL BE ARRANGED IN ZONES THROUGHOUT THE PROJECT.
13. ALL STORMWATER SYSTEMS WITHIN THE OPEN SPACE LOTS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

LEGEND

	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	PROPOSED RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BLOCK NUMBER
	PROPOSED BLOCK NUMBER
	EXISTING LOT NUMBER
	PROPOSED LOT NUMBER
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING LIGHT
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	MATCHLINE

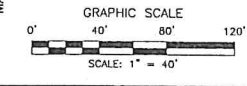


DATE: 06/23/20
 DATE: 06/19/20
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 246504335700
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

SUBMISSION PLAN - SHEET A

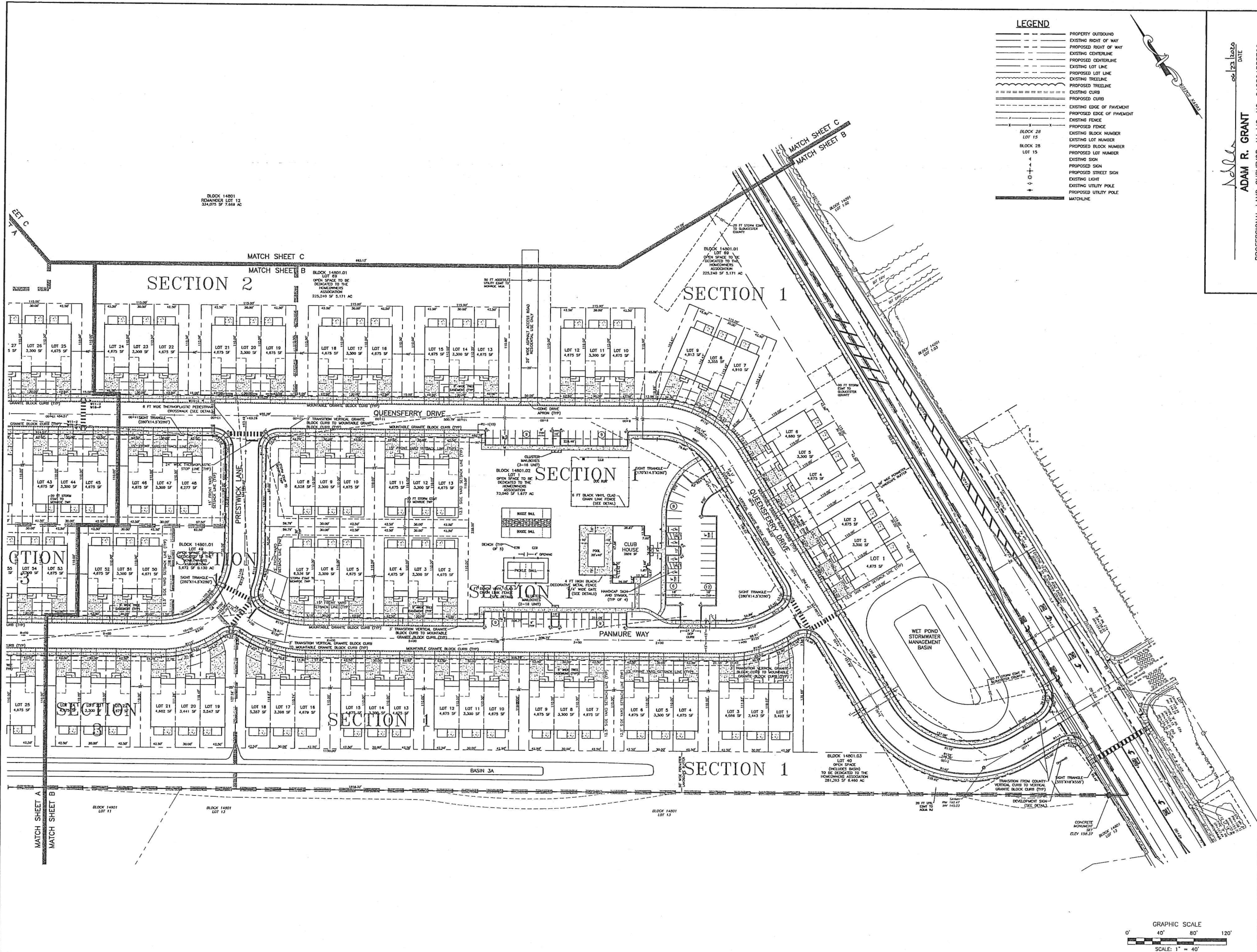
THE GREENS
 PLATE 146, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERGEN COUNTY ROAD, SUITE 200, HAVERTY, NEW JERSEY 08041
 PHONE: (908) 238-2300 FAX: (908) 333-2344 WWW: www.cesnj.com
 NJ CERTIFICATE OF AUTHORIZATION No. 2403787700



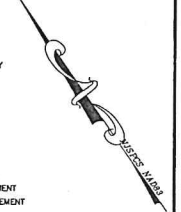
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LEGEND

	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	PROPOSED RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BLOCK NUMBER
	PROPOSED BLOCK NUMBER
	EXISTING LOT NUMBER
	PROPOSED LOT NUMBER
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING STREET SIGN
	EXISTING LIGHT
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	MATCHLINE

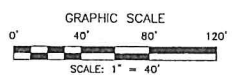


DATE: 06/23/20
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 246504335700
 DATE: 06/23/20
 PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

NO.	DATE	BY	REVISIONS

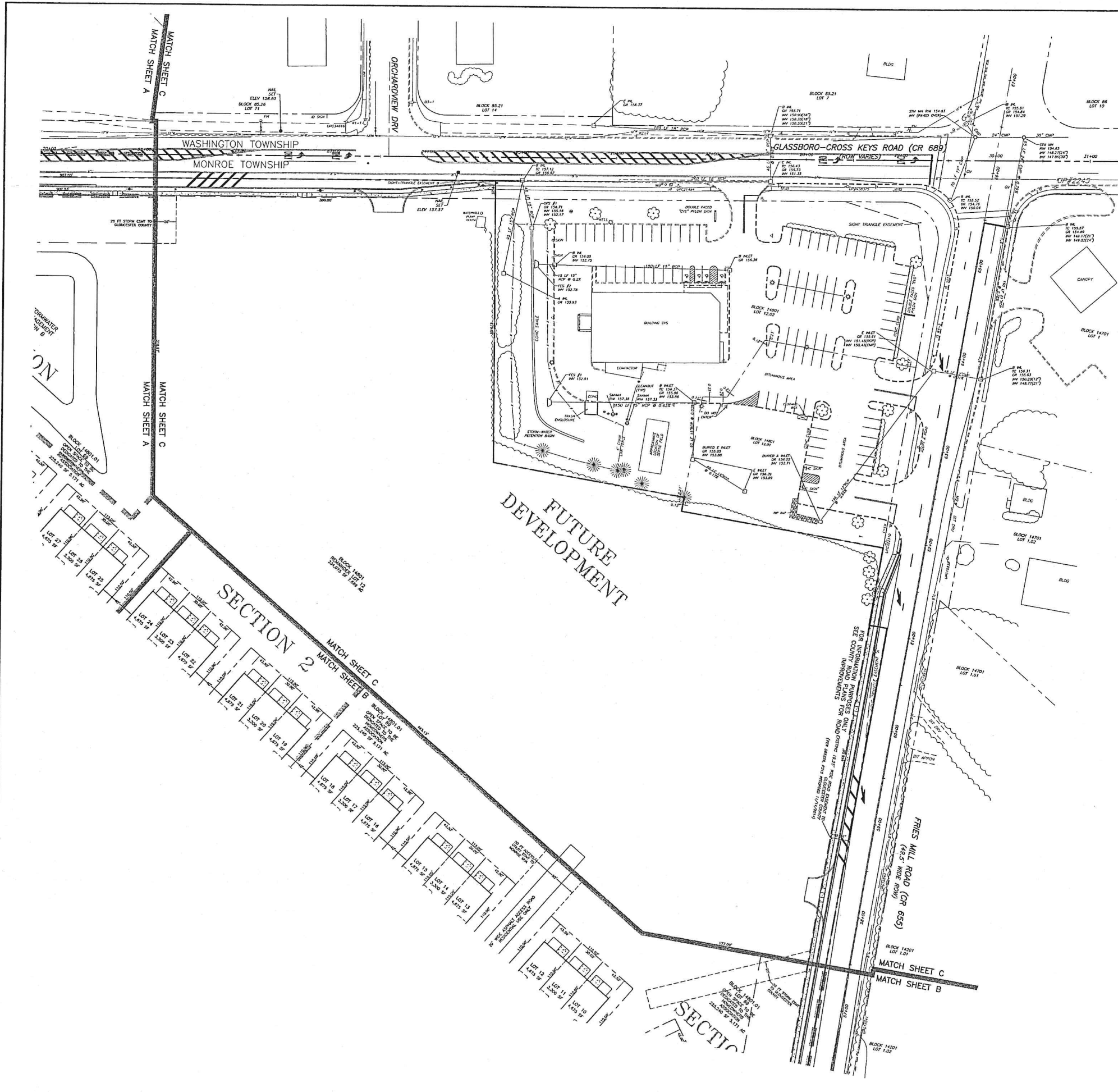
SUBMISSION PLAN - SHEET B
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
BERLIN-CROSS SERVICES
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS ROAD, SUITE 11, SICKLERVILLE, NEW JERSEY 08081
 PHONE: (609) 426-1111 FAX: (609) 426-1112
 IN COMPLIANCE WITH THE REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERING AND SURVEYING, LICENSE NO. 246E04749300

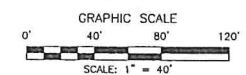


DATE: 06/23/20

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- LEGEND**
- PROPERTY OUTBOUND
 - EXISTING RIGHT OF WAY
 - PROPOSED RIGHT OF WAY
 - EXISTING CENTERLINE
 - PROPOSED CENTERLINE
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - EXISTING CURB
 - PROPOSED CURB
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED EDGE OF PAVEMENT
 - EXISTING FENCE
 - PROPOSED FENCE
 - EXISTING BLOCK NUMBER
 - EXISTING LOT NUMBER
 - PROPOSED BLOCK NUMBER
 - PROPOSED LOT NUMBER
 - EXISTING SIGN
 - PROPOSED SIGN
 - EXISTING STREET SIGN
 - PROPOSED STREET SIGN
 - EXISTING UTILITY POLE
 - PROPOSED UTILITY POLE
 - MATCHLINE



DATE: 05/13/2010
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 24GS04335700

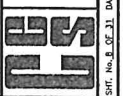
DATE: 06/15/20
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

NO.	DATE	REVISIONS
1	05/13/2010	ISSUED FOR PERMITTING
2	06/15/20	REVISED PER PERMITTING

SUBDIVISION PLAN - SHEET C
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERKSHIRE DRIVE, SUITE 200, WINDY HILL, NEW JERSEY 08061
 PHONE: (609) 398-3300 FAX: (609) 331-2141 WWW: WWW.CESNJ.COM

DATE: 05/02/2010 SCALE: 1"=40' DES. NO.: 2514-CR655 REV. NO.: 001 DRAWN BY: JAM



GENERAL NOTES:

1. TB= TOP OF BLOCK; FF= FINISH GRADE; GF= GARAGE FLOOR. HOUSES ARE GRADED TO MAINTAIN A MINIMUM DRAINAGE SLOPE OF 0.5% (AT GARAGE ENTRANCES) TO DIFFERENCE IS 1.0". 8" MINIMUM SHALL BE THE DIFFERENCE BETWEEN TB AND FF. THERE SHALL BE A 6" DROP WITHIN 10 FT OF THE BUILDING AND THEN A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING. A MAXIMUM SLOPE OF 3:1 WAS MAINTAINED THROUGHOUT.
2. DURING CONSTRUCTION OF THE DEVELOPMENT'S ROADWAYS, MANHOLE CASTINGS, VALVE BOXES, INLET CASTINGS (EXCEPT CURB PIECE TYPE), ETC. SHALL BE SET WITH THE ROADWAY SURFACE TO AVOID POTENTIAL DAMAGE TO VEHICLES AND OTHER PUBLIC WORKS EQUIPMENT, SUCH AS SNOW PLOWES, JUST PRIOR TO THE CONSTRUCTION OF THE FINAL ROADWAY SURFACE. THE CASTINGS SHALL BE ADJUSTED AND SET TO FINAL GRADE.
3. ALL UNITS ARE ASSUMED TO HAVE BASEMENTS UNLESS OTHERWISE NOTED. THIS WILL BE DETERMINED ON A BLOCK BY BLOCK BASIS AT THE TIME OF BUILDING PERMITS. WHERE BASEMENTS ARE PROPOSED.
4. BUILDER IS TO CORRECT DRAINAGE PROBLEMS IDENTIFIED DURING CONSTRUCTION, AS DIRECTED BY THE TOWNSHIP ENGINEER.
5. PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 251 OF THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED ON THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.
6. NO TOPSOIL WILL BE REMOVED FROM THE SITE. ANY REMOVAL OF TOPSOIL FROM THE SITE MUST FIRST BE APPROVED BY THE LAND USE BOARD.
7. ANY SOIL BROUGHT ONTO THE SITE, INCLUDING TOPSOIL AND OTHER FILL SOIL, MUST BE CERTIFIED CLEAR SOIL. WRITTEN CERTIFICATION IS TO BE PROVIDED TO THE TOWNSHIP AND TOWNSHIP ENGINEER.

FILL NOTES

1. THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOIL ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.
2. DRAIN FILL SHALL BE KEPT FROM BEING CONTAMINATED BY ADJACENT SOIL MATERIALS DURING PLACEMENT BY EITHER PLACING IT IN A CLEANLY EXCAVATED TRENCH, OR BY KEEPING THE DRAIN AT LEAST ONE FOOT ABOVE THE ADJACENT EARTH FILL.
3. SELECTED DRAIN FILL AND BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTI-SLEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING. FILL MATERIAL SHALL BE PLACED AND SPREAD BEGINNING AT THE LOWEST POINT IN THE FOUNDATION, AND THEN BRINGING IT UP IN CONTINUOUS HORIZONTAL LAYERS IF REQUIRED. THE COMPLETE COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS. FILL SHALL NOT BE STEEPER THAN THE RATIO OF THREE HORIZONTAL TO ONE VERTICAL. THE FINISHING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION TO INSURE A GOOD BOND WITH THE NEW FILL.
4. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STRAGGLES, OR LAYERS OF MATERIAL SHALL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO LINES AND GRADATIONS SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN IN THE DRAWINGS OR AS STRIKED IN THE FIELD.
5. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL BE WETTED AND MIXED. UNTIL THE REQUIREMENT IS MET, CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.
6. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND DRAIN FILL OR ANTI-SLEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY HAND TAMPING, OR BY USING MANUALLY OPERATED POWER TAMPERS OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE HAS HAD TIME TO GAIN ENOUGH STRENGTH TO SUPPORT THE LOAD.
7. FILL MATERIALS SHALL CONFORM TO THE ASTM D2321 CLASS I, II OR III. NATIVE SOIL MAY BE USED AS FILL PROVIDED IT MEETS THE REQUIREMENTS OF ASTM D2321 FOR THE RESPECTIVE CLASS OF MATERIAL. EXCAVATED MATERIALS NOT CONFORMING WITH THIS REQUIREMENT MUST BE REPLACED WITH SUITABLE MATERIAL.
8. FILL SHALL BE COMPACTED TO A MINIMUM OF 93% OF THE STANDARD PROCTOR DENSITY.
9. ALL FILL OPERATIONS SHALL BE PERFORMED UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER. COMPACTION SHALL BE TESTED TO THE SATISFACTION OF THE ENGINEER.

INITIAL STORMWATER INFILTRATION BASIN CONSTRUCTION NOTES

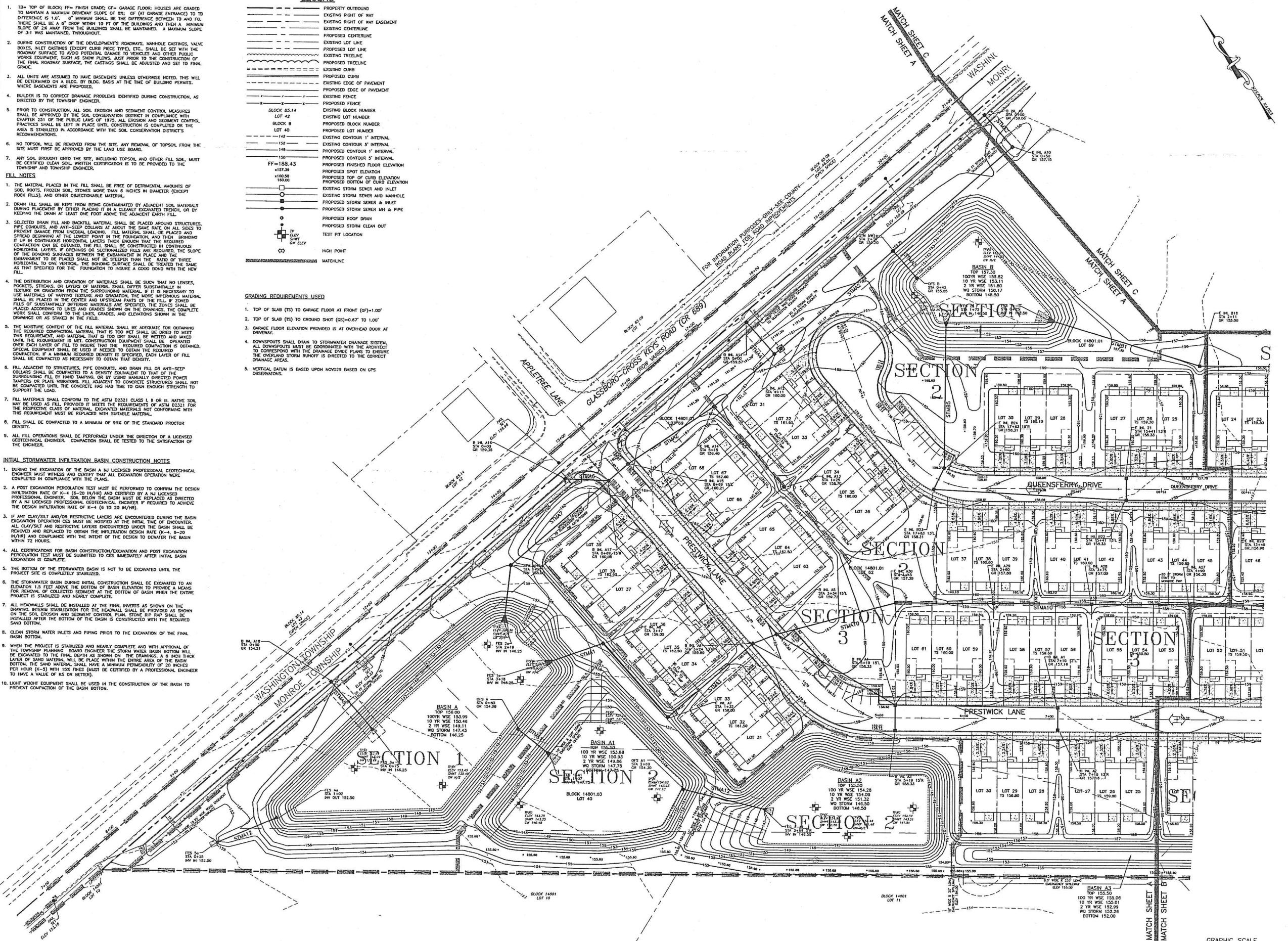
1. DURING THE EXCAVATION OF THE BASIN A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER MUST WITNESS AND CERTIFY THAT ALL EXCAVATION OPERATION WERE COMPLETED IN COMPLIANCE WITH THE PLANS.
2. A POST EXCAVATION PERCOLATION TEST MUST BE PERFORMED TO CONFIRM THE DESIGN INFILTRATION RATE OF K=4 (6-20 IN/HR) AND CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. SOIL BELOW THE BASIN MUST BE REPLACED AS DIRECTED BY A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER IF REQUIRED TO ACHIEVE THE DESIGN INFILTRATION RATE OF K=4 (6 TO 20 IN/HR).
3. IF ANY CLAY/SILT AND/OR RESTRICTIVE LAYERS ARE ENCOUNTERED DURING THE BASIN EXCAVATION OPERATION CES MUST BE NOTIFIED AT THE INITIAL TIME OF ENCOUNTER. ALL CLAY/SILT AND RESTRICTIVE LAYERS ENCOUNTERED UNDER THE BASIN SHALL BE REMOVED AND REPLACED TO OBTAIN THE INFILTRATION DESIGN RATE (K=4, 6-20 IN/HR) AND COMPLIANCE WITH THE INTENT OF THE DESIGN TO DRAINER THE BASIN WITHIN 72 HOURS.
4. ALL CERTIFICATIONS FOR BASIN CONSTRUCTION/EXCAVATION AND POST EXCAVATION PERCOLATION TEST MUST BE SUBMITTED TO CES IMMEDIATELY AFTER INITIAL BASIN EXCAVATION IS COMPLETE.
5. THE BOTTOM OF THE STORMWATER BASIN IS NOT TO BE EXCAVATED UNTIL THE PROJECT SITE IS COMPLETELY STABILIZED.
6. THE STORMWATER BASIN DURING INITIAL CONSTRUCTION SHALL BE EXCAVATED TO AN ELEVATION 1.5 FEET ABOVE THE BOTTOM OF BASIN ELEVATION TO PROVIDE A MEANS FOR REMOVAL OF COLLECTED SEDIMENT AT THE BOTTOM OF BASIN WHEN THE ENTIRE PROJECT IS STABILIZED AND NEARLY COMPLETE.
7. ALL HEADWALLS SHALL BE INSTALLED AT THE FINAL INVERTS AS SHOWN ON THE DRAWING. INTERIM STABILIZATION FOR THE HEADWALL SHALL BE PROVIDED AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. STONE RIP RAP SHALL BE INSTALLED AFTER THE BOTTOM OF THE BASIN IS CONSTRUCTED WITH THE REQUIRED SAND BOTTOM.
8. CLEAN STORM WATER INLETS AND PIPING PRIOR TO THE EXCAVATION OF THE FINAL BASIN BOTTOM.
9. WHEN THE PROJECT IS STABILIZED AND NEARLY COMPLETE AND WITH APPROVAL OF THE TOWNSHIP PLANNING BOARD ENGINEER THE STORM WATER BASIN BOTTOM WILL BE EXCAVATED TO THE FINAL BOTTOM AS SHOWN ON THE DRAWING. A 6 INCH THICK LAYER OF SAND MATERIAL SHALL BE PLACED WITHIN THE ENTIRE AREA OF THE BASIN BOTTOM. THE SAND MATERIAL SHALL HAVE A MINIMUM PENETRABILITY OF 20 INCHES PER HOUR (K=5) WITH 15% FINES (MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER TO HAVE A VALUE OF AS OR BETTER).
10. LIGHT WEIGHT EQUIPMENT SHALL BE USED IN THE CONSTRUCTION OF THE BASIN TO PREVENT COMPACTION OF THE BASIN BOTTOM.

LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- EXISTING RIGHT OF WAY EASEMENT
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING TIELINE
- PROPOSED TIELINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED BLOCK NUMBER
- PROPOSED LOT NUMBER
- EXISTING CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING STORM SEWER & INLET
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER & INLET
- PROPOSED STORM SEWER MH & PIPE
- PROPOSED ROOF DRAIN
- PROPOSED STORM CLEAN OUT
- TEST PIT LOCATION
- HIGH POINT
- MATCHLINE

GRADING REQUIREMENTS USED

1. TOP OF SLAB (TS) TO GARAGE FLOOR AT FRONT (GF)=1.00'
2. TOP OF SLAB (TS) TO GROUND SHOT (GS)=0.67' TO 1.00'
3. GARAGE FLOOR ELEVATION PROVIDED IS AT OVERHEAD DOOR AT DRIVEWAY.
4. DOWNSPOUTS SHALL DRAIN TO STORMWATER DRAINAGE SYSTEM. ALL DOWNSPOUTS MUST BE COORDINATED WITH THE ARCHITECT TO CORRESPOND WITH THE DRAINAGE DRAIN PLANS TO ENSURE THE OVERLAND STORM RUNOFF IS DIRECTED TO THE CORRECT DRAINAGE AREA.
5. VERTICAL DATUM IS BASED UPON NAD83 BASED ON GPS OBSERVATIONS.

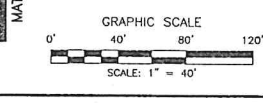
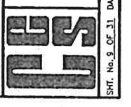


DATE: 09/23/20
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

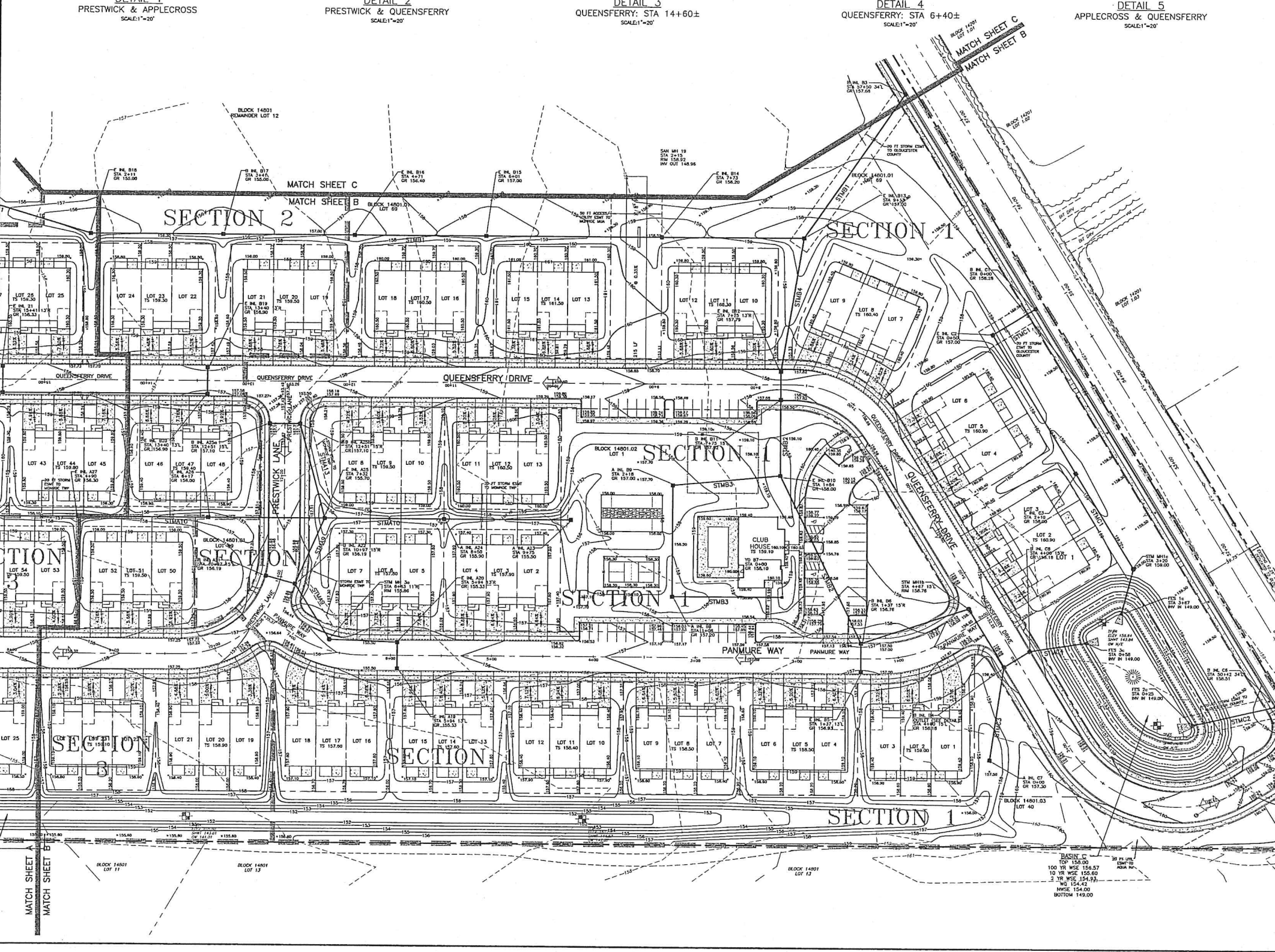
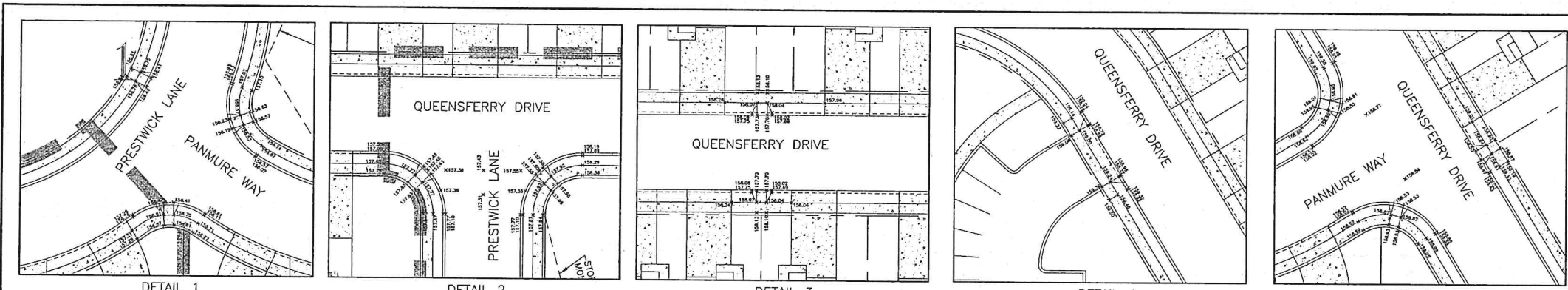
NO.	DATE	REVISIONS
1	08/17/20	REVISED SECTIONS
2	09/23/20	REVISED SECTIONS

GRADING & DRAINAGE PLAN - SHEET A
 THE GREENS
 PLATE 146, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 11, STICKLEWILLE, NEW JERSEY 08081
 PHONE: (609) 426-1100 FAX: (609) 426-1101
 A CERTIFICATE OF AUTHORIZATION No. 2-03293708



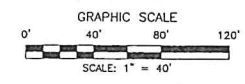
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- GRADING REQUIREMENTS USED**
1. TOP OF SLAB (TS) TO GARAGE FLOOR AT FRONT (GF)=1.00'
 2. TOP OF SLAB (TS) TO GROUND SHOT (CS)=0.57' TO 1.00'
 3. GARAGE FLOOR ELEVATION PROVIDED IS AT OVERHEAD DOOR AT DRIVEWAY.
 4. DOWNSLOPES SHALL DRAIN TO STORMWATER DRAINAGE SYSTEM. ALL DOWNSLOPES MUST BE COORDINATED WITH THE ARCHITECT TO CORRESPOND WITH THE DRAINAGE DIME PLANS TO ENSURE THE OVERLAND STORM RUNOFF IS DIRECTED TO THE CORRECT DRAINAGE AREAS.
 5. VERTICAL DATUM IS BASED UPON HDV029 BASED ON GPS OBSERVATIONS.

LEGEND

	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BLOCK NUMBER
	EXISTING LOT NUMBER
	PROPOSED BLOCK NUMBER
	PROPOSED LOT NUMBER
	EXISTING CONTOUR 1' INTERVAL
	EXISTING CONTOUR 5' INTERVAL
	PROPOSED CONTOUR 1' INTERVAL
	PROPOSED CONTOUR 5' INTERVAL
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION
	EXISTING STORM SEWER AND INLET
	EXISTING STORM SEWER AND MANHOLE
	PROPOSED STORM SEWER AND INLET
	PROPOSED STORM SEWER MH & PIPE
	PROPOSED ROOF DRAIN
	PROPOSED STORM CLEAN OUT
	TEST PIT LOCATION
	HIGH POINT
	MATCHLINE



Paul C. W. [Signature]
PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300
 DATE: 04/23/20

GRADING & DRAINAGE PLAN - SHEET B
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY:
CS CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, LAND SURVEYORS
 648 BERLIN-CRESS KENNY ROAD, SUITE 200, BURLINGTON, NJ 08009
 PHONE (609) 238-2500 FAX (609) 232-2348 - EMAIL: paul@cs-engineers.com
 A CORPORATION OF AFFILIATION NO. 246E04749300

DATE: 04/23/20 SCALE: 1"=40' CES No. 2284-02 FILE No. 2284-02-021 DRAWN BY: JAM

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SANITARY AND WATER CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AT NO COST TO THE AGENCY INCLUDING BUT NOT LIMITED TO A ROAD OPENING PERMIT FROM THE TOWNSHIP/BOROUGH AND COUNTY, AND STATE.
2. COVER ALL WATER MAINS SHALL BE 4'-0" MINIMUM.
3. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY IN ADVANCE OF CONSTRUCTION FOR TEMPORARY SUPPORT OF UTILITY POLES.
4. THE CONTRACTOR SHALL COMPLY WITH ALL STANDARDS SET FORTH IN THE MUA RULES AND REGULATIONS AND THE "INSPECTION AND TESTING PROCEDURES MANUAL" INCLUDED IN THE SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR DEPTHS OF EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROPOSED FACILITIES SHALL UTILIZE THE MANDATORY NOTIFICATION SYSTEM PER LAWS, RULES AND REGULATIONS 1-800-272-10000. 7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATION.
6. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN SIX (6) INCH LAYERS IN STRICT ACCORDANCE WITH THE TRENCH DETAILS AND THE SPECIFICATIONS.
7. NO MATERIAL SHALL BE PLACED OR DISTURBED BEYOND THE PROPERTY LINES OR RIGHT-OF-WAY LINES WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
8. INSPECTION OF, OR FAILURE TO, INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE MUA SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPLICABLE LAWS.
9. WHATEVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUPPORT THE WEIGHT OF THE PIPE AND UNWEIGHTED LOADS, THE TRENCH BOTTOM SHALL BE OVER EXCAVATED AND STABILIZED WITH SIX (6) INCH MINIMUM THICK LAYERS OF CRUSHED STONE AS DIRECTED BY THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING, FINISH, AND TOP SOILING, FERTILIZING AND SEEDING OF ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN ROADS SHALL MEET THE REQUIREMENTS OF THE ENGINEER.
11. ALL TESTING OF NEW WATER MAINS AND OTHER APPURTENANCES SHALL BE COMPLETED AND EXECUTED DIRECTION CERTIFICATE AS INCLUDED IN THE "INSPECTION AND TESTING PROCEDURES MANUAL" INCLUDED IN THE SPECIFICATIONS.
12. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF EACH WATER SERVICE LINE WITH THE PROPERTY OWNER DIRECTLY INVOLVED.
13. ALL GENERAL CONSTRUCTION, MATERIALS, TESTING, AND METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE MUA ENGINEER.
14. ALL CROSS AREAS DISTURBED WITHIN STATE RIGHT-OF-WAY SHALL BE RESTORED UTILIZING THE RESTORATION SPECIFICATIONS MADE PART OF THE 14001 PERMIT.
15. ALL SANITARY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) MEETING ASTM D3034 SDR 35 SPECIFICATION WITH 8" X 4" TEE WYDS AT ALL LATERAL INTERCONNECTIONS. LOCATIONS AND SLOPES OF THE MAINS AND ALL APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
16. ALL SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) MEETING ASTM D3034 SDR 35-26 SPECIFICATIONS. LOCATIONS AND SLOPES OF THE LATERALS AND ALL APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
17. ALL FOUR (4) INCH AND LARGER WATER PIPE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE (CLIP) WITH PUSH-ON JOINTS. WATER PIPE SMALLER THAN THREE (3) INCHES SHALL BE 1" SOFT TAPER COPPER TUBING WITH COMPRESSION FITTINGS. ALL WATER PIPE SHALL HAVE FORTY-EIGHT (48) INCH MINIMUM COVER.
18. WATER PIPE SHALL BE DISCONNECTED BY THE CONTRACTOR, BY CONTACT WITH A CHLORIDE SOLUTION NO LESS THAN FIFTY (50) PPM FOR NOT LESS THAN TWENTY-FOUR (24) HOURS, AND CERTIFIED IN WRITING BY THE CONTRACTOR OF ITS COMPLETION.
19. WATER MAINS AND SANITARY SEWER MAINS SHALL BE SEPARATED BY AT LEAST TEN (10) FEET HORIZONTALLY WHEREVER POSSIBLE. OTHERWISE, THE SANITARY SEWER AND WATER SHALL BE SEPARATED BY MANHOLES WITH THE SANITARY SEWER 18 INCHES MINIMUM BELOW THE WATER MAIN. THE SANITARY SEWER SHALL BE 18 INCHES BELOW THE WATER MAIN AND/OR STORM PIPE AT ALL CROSSINGS. WHERE THE SANITARY SEWER CROSSES OVER OR WITHIN 18 INCHES UNDER A WATER MAIN AND/OR STORM PIPE, THE SANITARY SEWER SHALL BE DUCTILE IRON PIPE WITH SLIP-ON JOINTS FOR AT LEAST TEN (10) FEET ON EACH SIDE OF THE CROSSING.
20. ALL WATER MAIN AND SANITARY SEWER CONSTRUCTION, MATERIALS AND TESTING SHALL BE SUBJECT TO THE APPROVAL OF THE MONROE MUNICIPAL UTILITIES AUTHORITY, THE GLAUCOSTER COUNTY UTILITIES AUTHORITY, AND THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION.
21. SANITARY SEWER LATERALS SHALL CONFORM TO STANDARD INSTALLATION REQUIREMENTS AND MAY NOT BE CONNECTED DIRECTLY INTO MANHOLES.
22. THE CONTRACTOR SHALL SUPPLY THE MUA WITH COMPLETE AS-BUILTS OF ALL UTILITY INSTALLATIONS AND APPURTENANCES BEFORE THE MUA WITNESSES THE TESTING OF THE SYSTEMS.
23. ALL PVC FORCE MAINS SHALL BE INSTALLED WITH TRACING WIRE.
24. SANITARY SEWER MANHOLES SET IN LOCATIONS SUBJECT TO SHEET FLOWS OF WATER (E. CUTTER LINE OF ROAD) SHALL HAVE WATER TIGHT FRAME AND LID; BROCCO STATE PATTERN #1454.
25. SANITARY SEWER MANHOLES SET IN LOCATIONS OTHER THAN PAVED ROADWAYS (E. GRASSY EASEMENTS) SHALL HAVE LOCKING LIDS; BROCCO STATE PATTERN #1460A.
26. ALL SERVICE SADDLES FOR USE ON PVC WATER MAIN SHALL BE ALL STEEL SERIES 370 SERIES AS PRODUCED BY SMITH-BLAR.

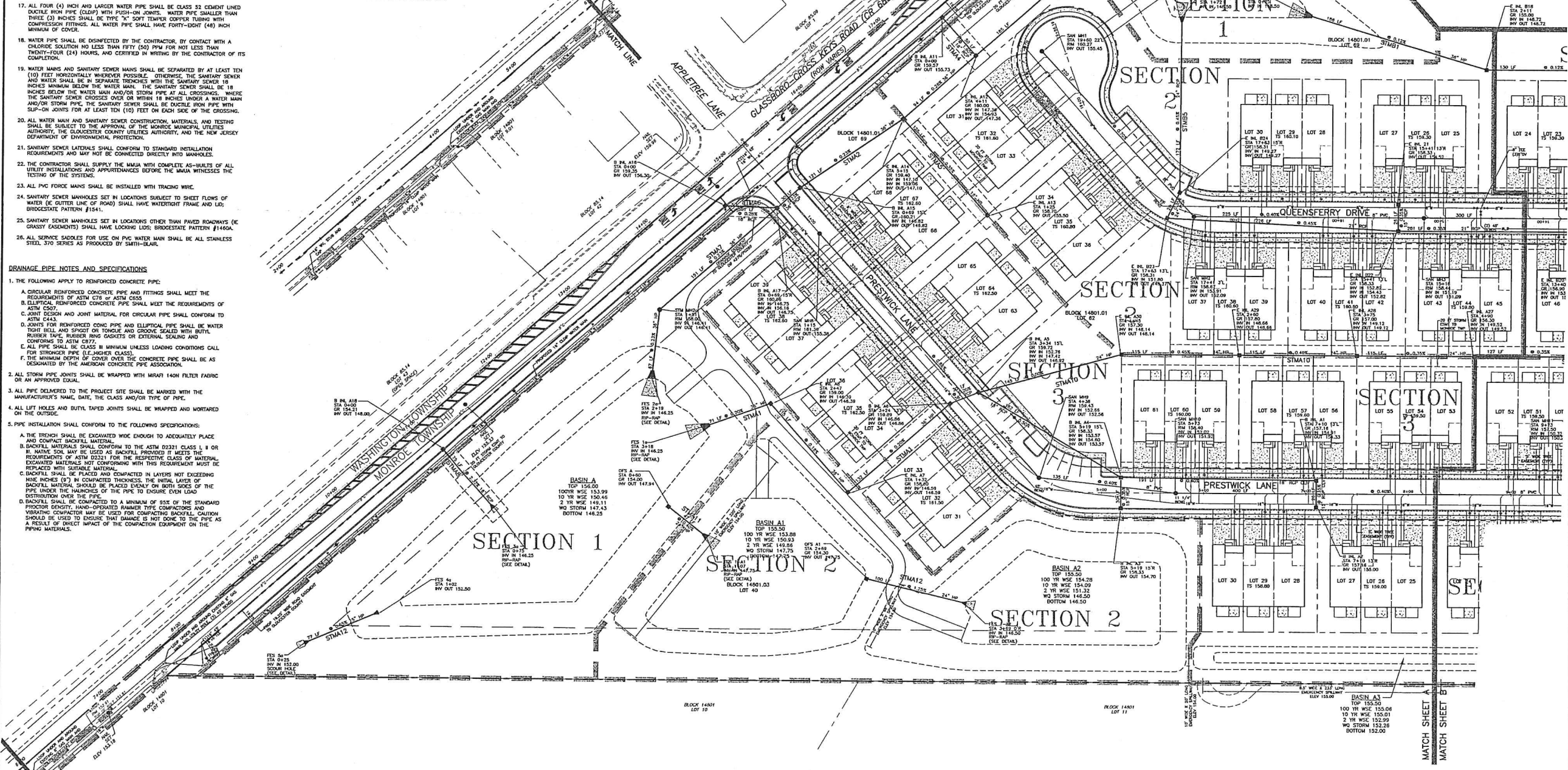
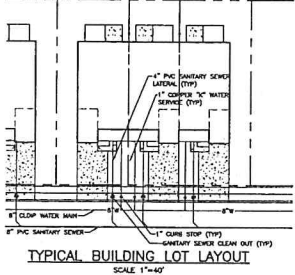
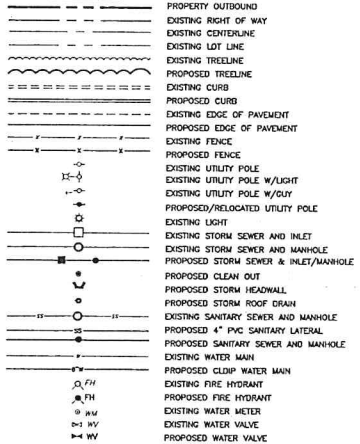
DRAINAGE PIPE NOTES AND SPECIFICATIONS

1. THE FOLLOWING APPLY TO REINFORCED CONCRETE PIPE.
 - A. CIRCULAR REINFORCED CONCRETE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM C78 OR ASTM C569.
 - B. ELECTRICAL REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF ASTM C507.
 - C. JOINT DESIGN AND JOINT MATERIAL FOR CIRCULAR PIPE SHALL CONFORM TO ASTM C443.
 - D. JOINTS FOR REINFORCED CONCRETE PIPE AND ULLTRALITE PIPE SHALL BE WATER TIGHT BELL AND SPOUT OR TONGUE AND GROOVE DESIGN WITH BELT, RUBBER TAC, RUBBER RING GASKETS OR EXTERNAL SEALING AND CONFORMS TO ASTM C577.
 - E. ALL PIPE SHALL BE CLASS B MINIMUM UNLESS LOADING CONDITIONS CALL FOR STRONGER PIPE (LARGER CLASS).
 - F. THE MINIMUM DEPTH OF COVER OVER THE CONCRETE PIPE SHALL BE AS DESIGNATED BY THE AMERICAN CONCRETE PIPE ASSOCIATION.
2. ALL STORM PIPE JOINTS SHALL BE WRAPPED WITH MDA1 140N FILTER FABRIC OR AN APPROVED EQUAL.
3. ALL PIPE DELIVERED TO THE PROJECT SITE SHALL BE MARKED WITH THE MANUFACTURER'S NAME, DATE, THE CLASS AND/OR TYPE OF PIPE.
4. ALL LIFT HOLES AND BUTYL TAPE JOINTS SHALL BE WRAPPED AND MORTARED ON THE OUTSIDE.
5. PIPE INSTALLATION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A. THE TRENCH SHALL BE EXCAVATED WIDE ENOUGH TO ACCURATELY PLACE AND COMPACT BACKFILL MATERIAL.
 - B. BACKFILL MATERIAL SHALL CONFORM TO THE ASTM D2921 CLASS 1 B OR II. NATIVE SOIL MAY BE USED AS BACKFILL PROVIDED IT MEETS THE REQUIREMENTS OF ASTM D2921 FOR THE RESPECTIVE CLASS OF MATERIAL. EXCAVATED MATERIALS NOT CONFORMING WITH THIS REQUIREMENT MUST BE REPLACED WITH SUITABLE MATERIAL.
 - C. BACKFILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING NINE INCHES (9") IN COMPACTED THICKNESS. THE INITIAL LAYER OF BACKFILL MATERIAL SHOULD BE PLACED EVENLY ON BOTH SIDES OF THE PIPE UNDER THE HAUNCHES OF THE PIPE TO ENSURE EVEN LOAD DISTRIBUTION OVER THE PIPE.
 - D. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 93% OF THE STANDARD PROCTOR DENSITY. HAND-OPERATED RAMMER TYPE COMPACTORS AND VIBRATING COMPACTOR MAY BE USED FOR COMPACTING BACKFILL. CAUTION SHOULD BE USED TO ENSURE THAT DAMAGE IS NOT DONE TO THE PIPE AS A RESULT OF DIRECT IMPACT OF THE COMPACTOR EQUIPMENT THE PILING MATERIALS.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION, MATERIALS, RESTORATIONS AND METHODS OF INSTALLATION IN COUNTY ROADS SHALL BE SUBJECT TO THE REQUIREMENTS AND APPROVAL OF THE COUNTY ENGINEER.
2. THE APPLICANT AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE EXISTING LOCATION OF THE FOLLOWING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY: LIGHTING POLES, ELECTRICAL TRANSFORMERS, ELECTRICAL SERVICE TO BUILDING(S), TELEPHONE AND CABLE TELEVISION BOXES AND DISTRIBUTION SERVICES TO BUILDING(S), GAS MAINS, GAS SERVICE TO BUILDING(S), AS NEEDED FOR THE PROJECT. IF THERE ARE CONFLICTS, NOTIFY THE ENGINEER, IN WRITING, PRIOR TO INSTALLATION.
3. CONTRACTOR EFFORTS SHALL BE MADE TO RETAIN EXISTING TREES, VEGETATION AND NATURAL CHARACTERISTICS OF THE TRACT.
4. NO MATERIALS SHALL BE PLACED NOR ANY DISTURBANCE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
5. PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 253 OF THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.
6. ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE AND CABLE TELEVISION SHALL BE UNDERGROUND.
7. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL UTILITIES, BOTH UNDERGROUND AND ABOVE GROUND AND OVERHEAD, BEFORE THE ORDERING OF MATERIALS OR COMMENCEMENT OF CONSTRUCTION.
8. THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER MAIN BENDS.
9. PVC SANITARY SEWER PIPE SHALL BE SDR-35 FOR PIPE DEPTHS OF 0'-12" (FEET), FOR DEPTHS OF 12'-20" (FEET), SDR-26 SHALL BE USED AND FOR DEPTHS GREATER THAN 20' (FEET) DUCTILE IRON PIPE (DIP) SHALL BE USED. ALL SANITARY SEWER MAINS SHALL BE TAMPED AND TESTED FOR LOW PRESSURE EXFILTRATION.
10. TV INSPECTION, IF REQUIRED BY THE UTILITY AUTHORITY FOR THE SANITARY SEWER SYSTEM, SHALL BE COMPLETED TO THE SATISFACTION OF THE UTILITY COMPANY ENGINEER PRIOR TO FINAL APPROVAL.
11. ALL ROOF DRAIN PIPING SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING ASTM D3034 SDR 26.
12. TRENCH BACKFILL SHALL BE COMPACTED TO 95% OF DRY DENSITY PER D-1557.
13. AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL COMPLETELY BACKFILL TRENCH.
14. THE ROADWAY SHALL BE SWEPT CLEAN AT THE END OF EACH WORKING DAY.
15. MANHOLE CASTINGS THAT MUST BE RAISED SHALL BE USING A MAXIMUM OF 3 PRE-CAST CONCRETE GRADE RINGS THAT COMPLY WITH C-178-9008.
16. ALL WATER SERVICE PIPING SHALL BE 1" X COOPER PIPING MINIMUM.
17. ALL SEWER LATERAL SHALL BE 4" PVC PIPE (SDR-35) MINIMUM.
18. SEWER PIPE BELOW 15' IN DEPTH TO BE DUCTILE IRON PIPE WITH PROTECTO 401 INTERNAL PIPE COATING AND ASPHALTIC EXTERNAL COATING.
19. ALL TEES FOR FIRE HYDRANTS SHALL BE HYDRANT ANCHOR TEES.

LEGEND



NOTE:
 1. ALL CURB INLET GRATES ARE SET 8" BELOW TOP OF CURB GRADE.
 2. A MINIMUM OF 10 FEET SEPARATION SHALL BE PROVIDED BETWEEN WATER AND SANITARY SEWER MAINS.

GRAPHIC SCALE
 0' 40' 80' 120'
 SCALE: 1" = 40'

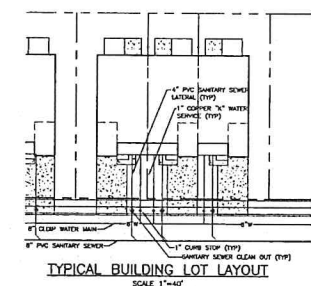
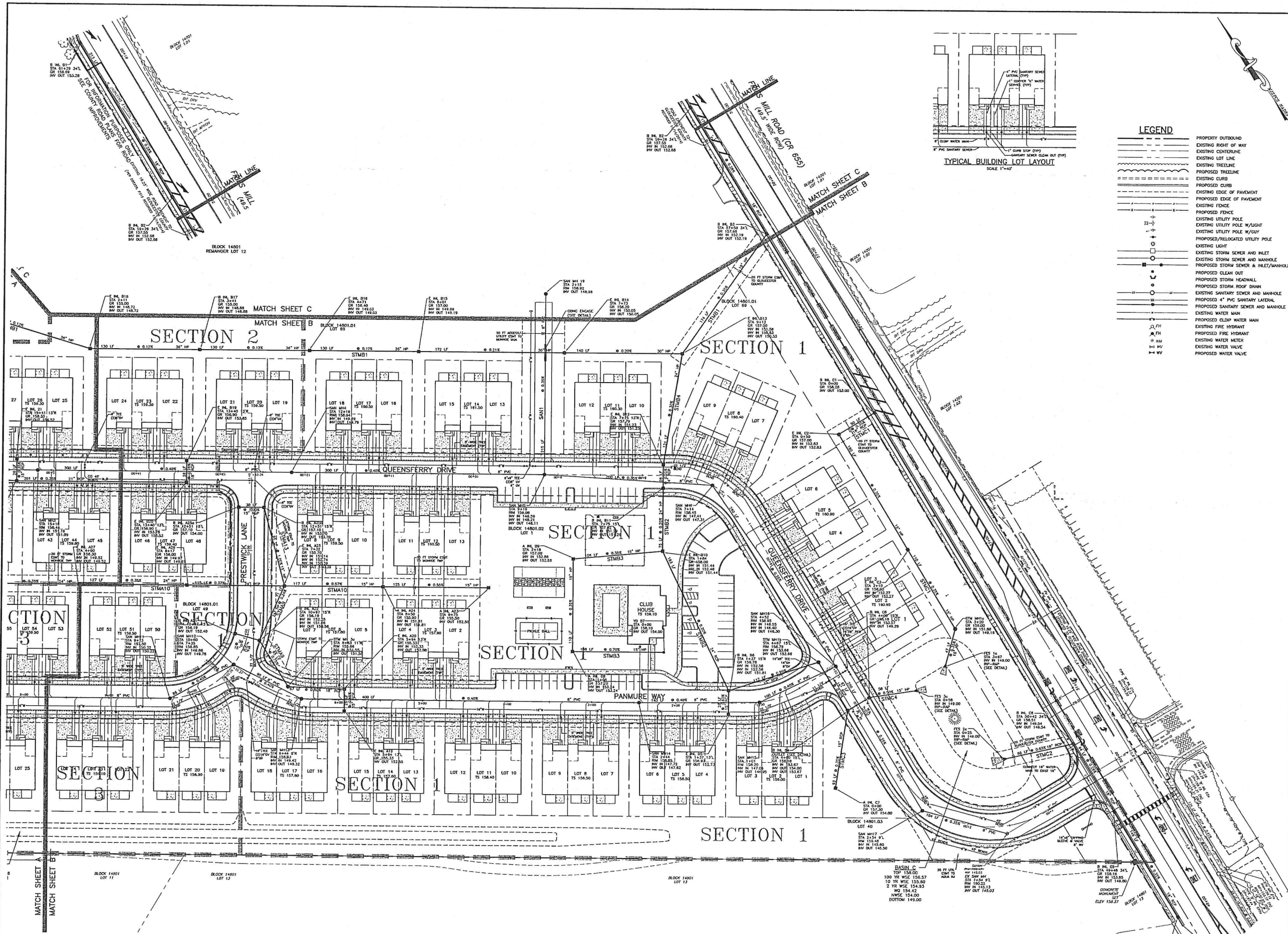
DATE: 06/12/20
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

NO.	DATE	DESCRIPTION
1	06/12/20	ISSUED FOR PERMIT

UTILITY PLAN - SHEET A
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLAUCOSTER COUNTY, NEW JERSEY

PREPARED BY:
 CONSULTING SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 648 BERLIN-CROSS KEYS ROAD, SUITE 11, ROCKLEWILLE, NEW JERSEY 08081
 PHONE: (609) 426-1111 FAX: (609) 426-1112
 A DIVISION OF: REGISTRATION NO. 2-04379728





LEGEND

[Symbol]	PROPERTY OUTBOUND
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[Symbol]	EXISTING CENTERLINE
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[Symbol]	PROPOSED FENCE
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[Symbol]	PROPOSED/RELOCATED UTILITY POLE
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[Symbol]	PROPOSED STORM SEWER & INLET/MANHOLE
[Symbol]	PROPOSED CLEAN OUT
[Symbol]	PROPOSED STORM HEADWALL
[Symbol]	PROPOSED STORM ROOF DRAIN
[Symbol]	EXISTING SANITARY SEWER AND MANHOLE
[Symbol]	PROPOSED 4\"/>

Paul A. Withohn
PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24604749300

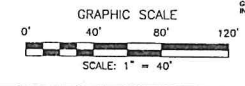
DATE	DESCRIPTION	REVISIONS

UTILITY PLAN - SHEET B
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
ENGINEER SERVICES
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 11, SCOKERVILLE, NEW JERSEY 08081
 PHONE (908) 426-4400 FAX (908) 426-4401 WWW.ES-SERVICES.COM
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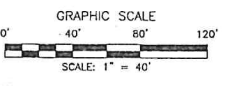
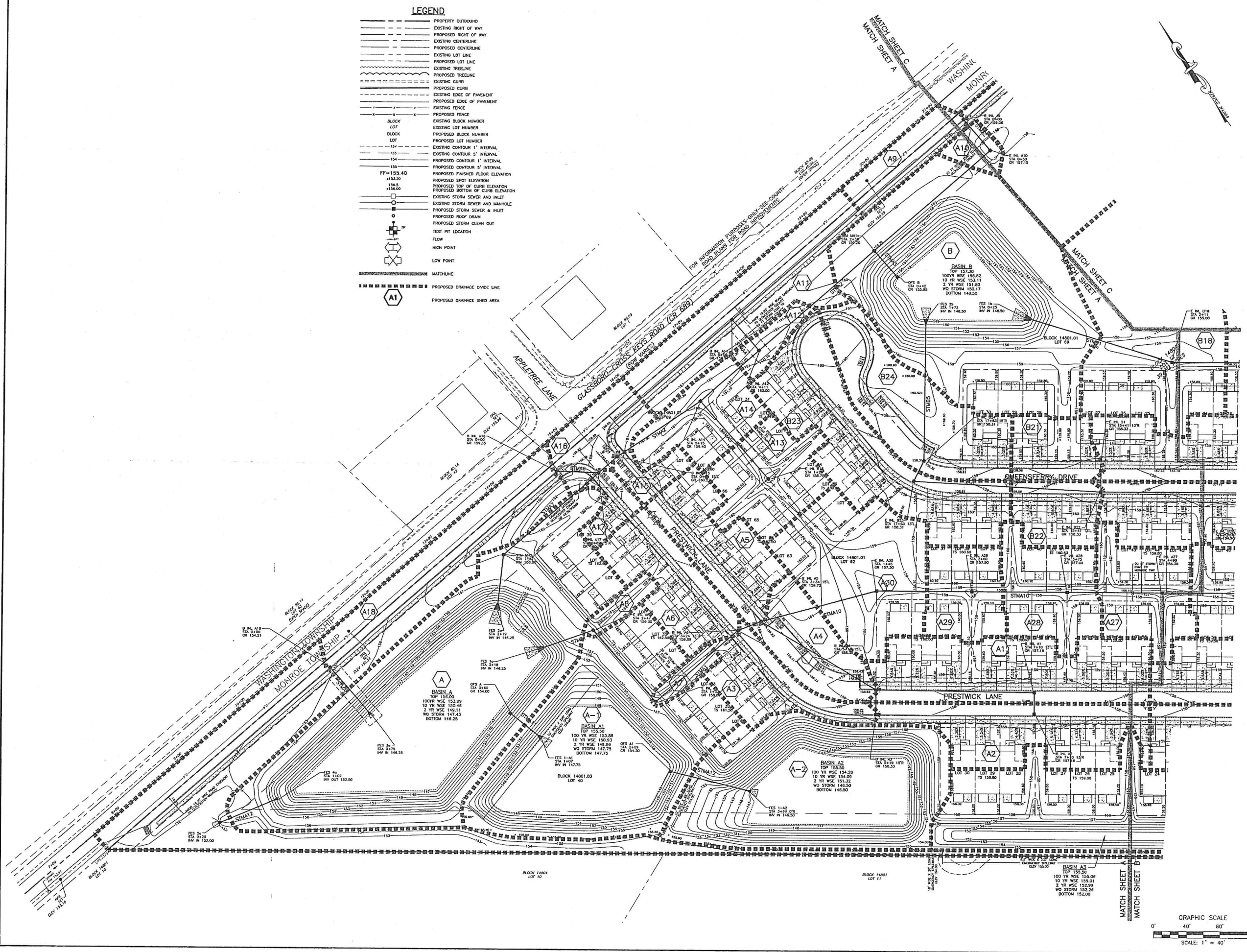
NOTE:
 1. ALL CURB INLET GRATES ARE SET 8" BELOW TOP OF CURB GRADE, UNLESS NOTED OTHERWISE.
 2. A MINIMUM OF 10 FEET SEPARATION SHALL BE PROVIDED BETWEEN WATER AND SANITARY SEWER MAINS.



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- LEGEND**
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 - - - PROPOSED TREELINE
 - - - EXISTING CURB
 - - - PROPOSED CURB
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 - - - EXISTING CONTOUR 5' INTERVAL
 - - - PROPOSED CONTOUR 1' INTERVAL
 - - - PROPOSED CONTOUR 5' INTERVAL
 - - - PROPOSED FINISHED FLOOR ELEVATION
 - - - PROPOSED SPOT ELEVATION
 - - - PROPOSED TOP OF CURB ELEVATION
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 - - - EXISTING STORM SEWER AND INLET
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 - - - PROPOSED STORM SEWER AND MANHOLE
 - - - PROPOSED ROOF DRAIN
 - - - PROPOSED STORM CLEAN OUT
 - - - TEST PIT LOCATION
 - - - FLOW
 - - - HIGH POINT
 - - - LOW POINT
 - - - MATCHLINE
 - - - PROPOSED DRAINAGE DRAIN LINE
 - - - PROPOSED DRAINAGE SHED AREA



Paul A. Witthohn
PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24-GE04749300

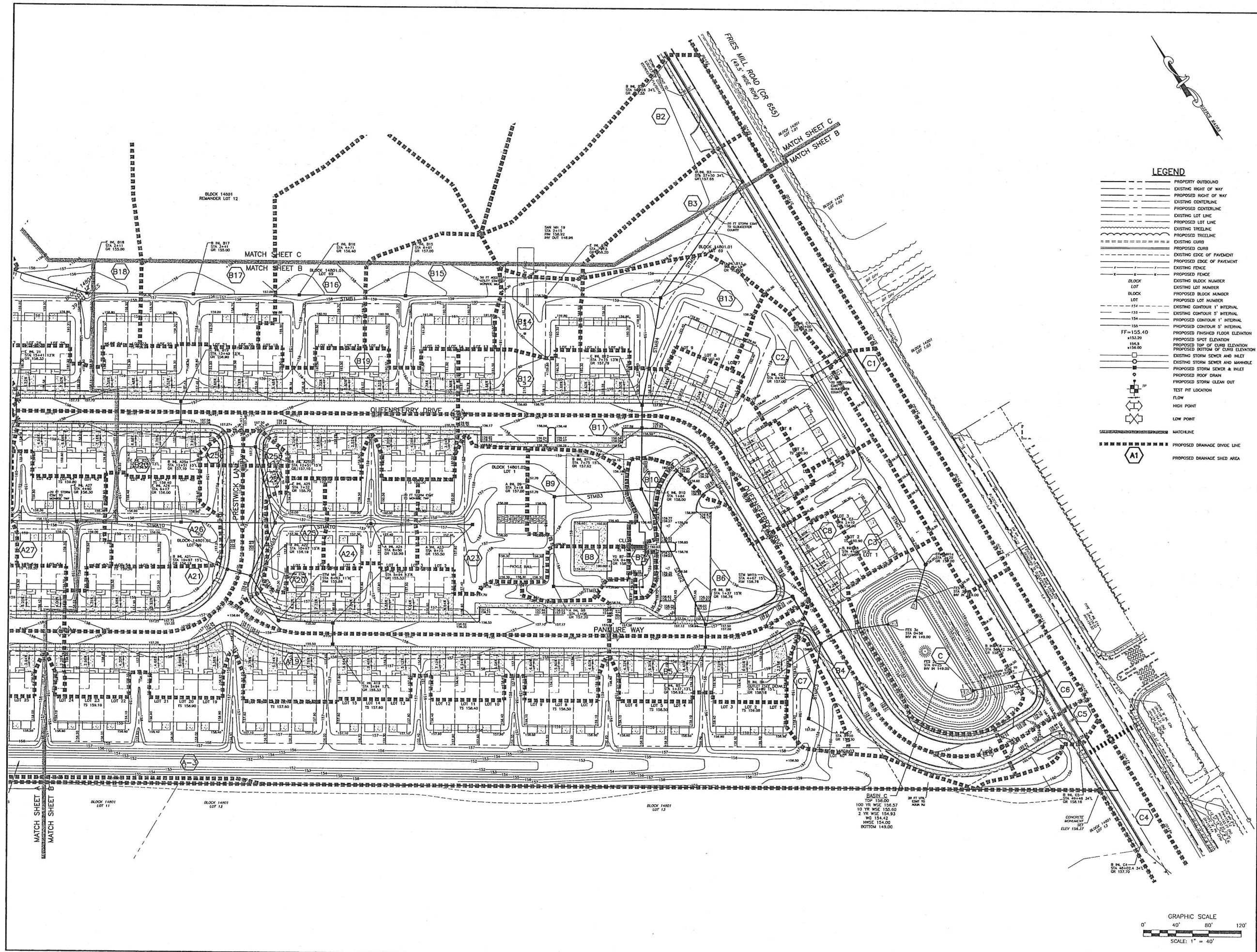
NO.	DATE	REVISIONS

DRAINAGE DIVIDE PLAN - SHEET A
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

DESIGNED BY: JAW
 DRAWN BY: JAW

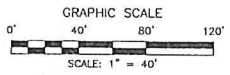
REVIEWED BY: SERVICES
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 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEWILLE, NEW JERSEY 08081
 PHONE (609) 426-1100 FAX (609) 426-1101
 NJ CERTIFICATE OF AUTHORIZATION No. 24-0277-0700

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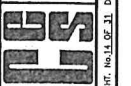
LEGEND

- PROPERTY OUTBOUND
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- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING TIE LINE
- PROPOSED TIE LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLOCK NUMBER
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- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING CONTOUR 1' INTERVAL
- EXISTING CONTOUR 2' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- EXISTING CONTOUR 10' INTERVAL
- PROPOSED FINISHED FLOOR ELEVATION
- FF=155.40
- +151.20
- +156.00
- EXISTING STORM SEWER & INLET
- EXISTING STORM SEWER & MANHOLE
- PROPOSED STORM SEWER & INLET
- PROPOSED STORM SEWER & MANHOLE
- PROPOSED STORM CLEAN OUT
- TEST PIT LOCATION
- FLOW
- HIGH POINT
- LOW POINT
- MATCHLINE
- PROPOSED DRAINAGE DIVIDE LINE
- PROPOSED DRAINAGE SHED AREA



DRAINAGE DIVIDE PLAN - SHEET B
THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

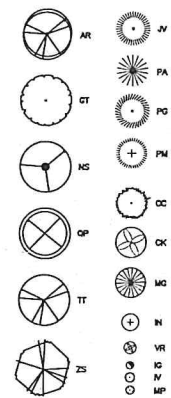
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 645 BELLEVILLE AVENUE, SUITE 200, NEW JERSEY 08081
 PHONE (609) 228-2200 FAX (609) 232-2244
 NJ CERTIFICATE OF AUTHORIZATION NO. 2402787700



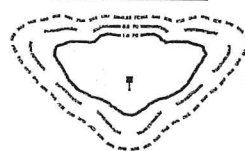
DATE: 09/21/03
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

DATE	BY	REVISIONS

LANDSCAPE LEGEND



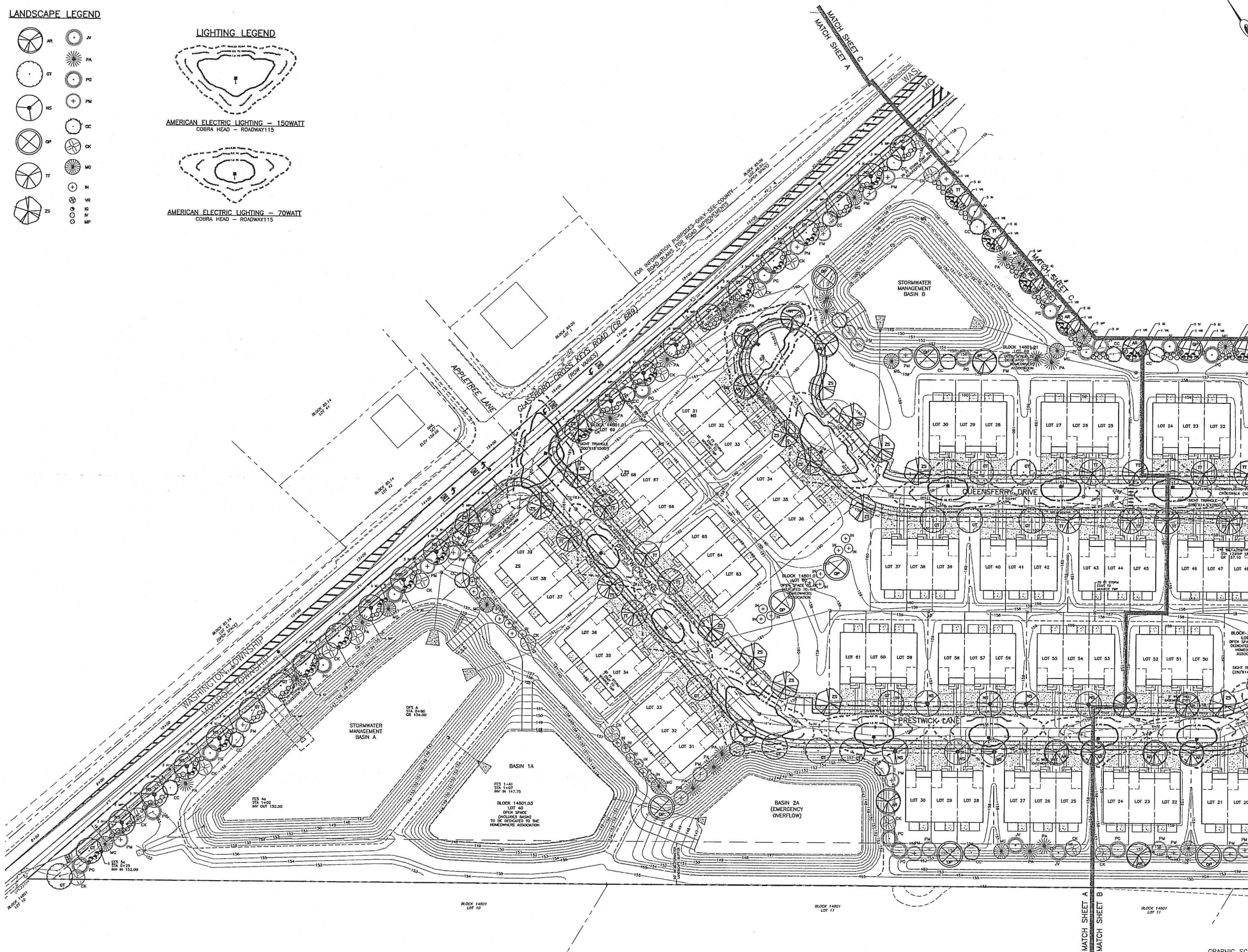
LIGHTING LEGEND



AMERICAN ELECTRIC LIGHTING - 150WATT
COBRA HEAD - ROADWAY 115



AMERICAN ELECTRIC LIGHTING - 70WATT
COBRA HEAD - ROADWAY 115

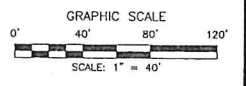


LANDSCAPE & LIGHTING PLAN - SHEET A

THE GREENS
PLATE 148 - LOTS 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68

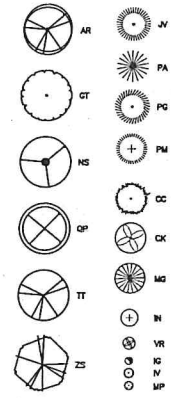
PREPARED BY
CONSULTING SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERGEN AVENUE, SUITE 200
ROCKAWAY, NEW JERSEY 07866
PHONE (201) 261-2200 • FAX (201) 231-2344 • WWW.CS-PA.COM
A DIVISION OF AUTHORITY NO. 2402787700

DATE: 08/15/20
PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300



Project: 2402787700 - Plate 148 - The Greens - Landscape & Lighting Plan - Sheet A - 08/15/20

LANDSCAPE LEGEND



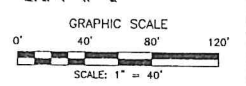
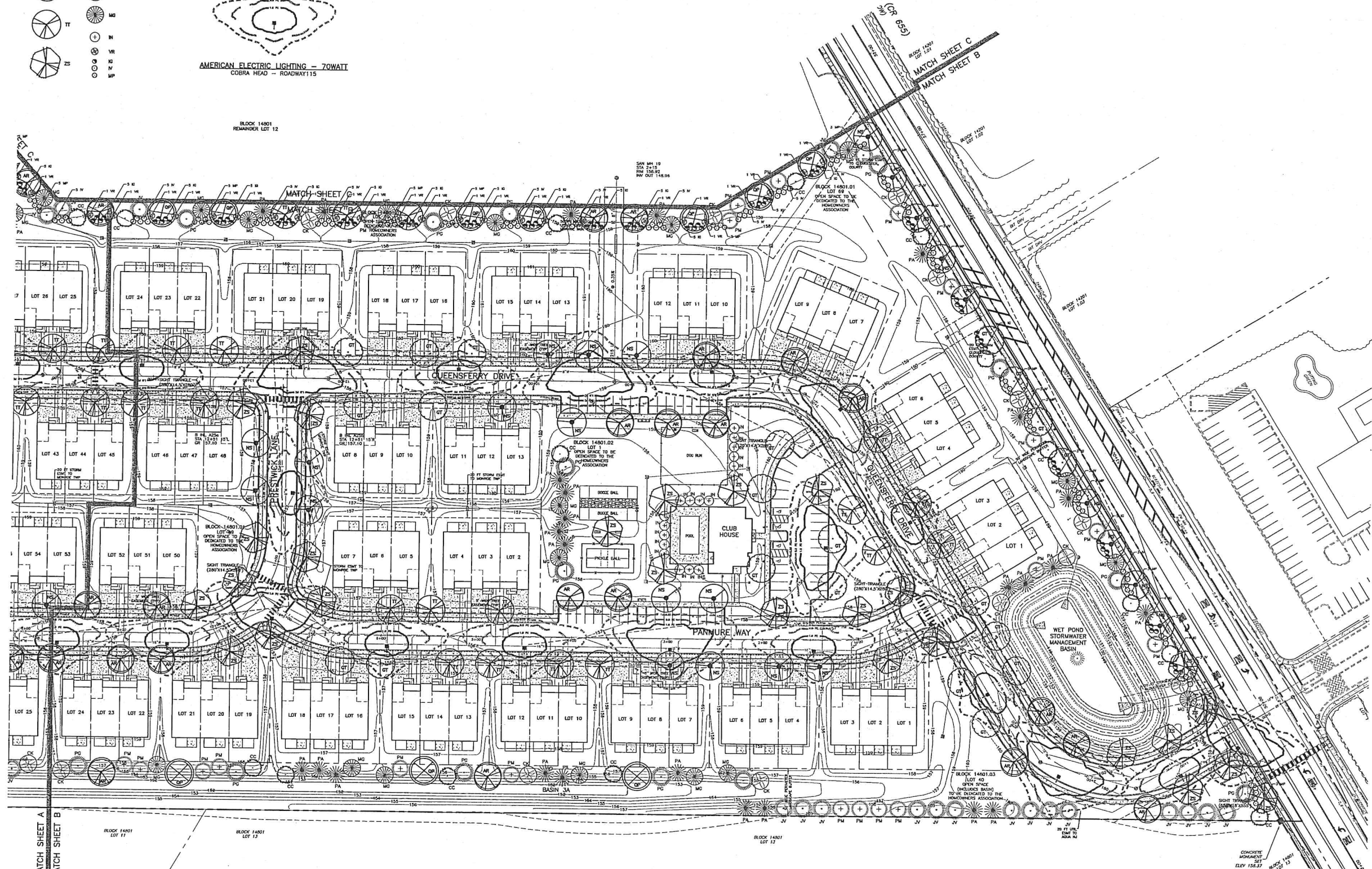
LIGHTING LEGEND



AMERICAN ELECTRIC LIGHTING - 150WATT
COBRA HEAD - ROADWAY115



AMERICAN ELECTRIC LIGHTING - 70WATT
COBRA HEAD - ROADWAY115



LANDSCAPE & LIGHTING PLAN - SHEET B
THE GREENS
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-1100 FAX (609) 426-1101
E-MAIL: INFO@CESNJ.COM
DATE: 06/12/20 SCALE: 1"=40' DRAWN BY: WJ

DATE: 06/12/20
PAUL A. WITTOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

NO.	DATE	REVISION
1	06/12/20	ISSUE FOR PERMIT
2	06/12/20	REVISIONS



LANDSCAPING NOTES

- ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY THE CITY PLANNER PRIOR TO PLANTING.
- PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE CITY PLANNER.
- COMPLETELY REMOVE ALL NON-BIODEGRADABLE ROOTWRAP PRIOR TO PLANTING.
- CONTRACTOR SHALL NOTIFY AND FLAG ALL UTILITY COMPANIES PRIOR TO EXCAVATING PLANT FITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- TOPSOIL SHALL BE USED FOR ALL PLANTING OPERATIONS.
- AREAS NOT DEFINED BY PLANTING OR MULCH SHALL BE SEEDED OR SOODED.
- TOPSOIL SHALL BE FERTILE, FRABLE, NATURAL TOPSOIL OF A LOAMY CHARACTER WITHOUT ADMIXTURE OF CLAY, HARDPAN, MULCH, MARL, SHELL, OR FINE SAND AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE OF STONES, LUMPS, PLANTS OR THEIR ROOTS OR SEEDS, STICKS, AND OTHER EXTRANEIOUS MATTER AND SHALL CONTAIN NO SUBSTANCE OR MATERIAL INHIBITORY TO PLANT GROWTH.
- ALL DISTURBED AREAS NOT CONTAINING BUILDINGS, PAVEMENT, SIDEWALK, OR LANDSCAPING SHALL BE TOPSOILED TO A DEPTH OF 4" - 6", FERTILIZED, AND SEEDED OR SOODED IN ACCORDANCE WITH THE SPECIFICATIONS FOR FERTILIZER AND SEED COVER IN THE NOTES FOR SOIL CROSSION AND SEEDMENT CONTROL.
- NURSERY GROWN SOO IS ACCEPTABLE AS AN OPTION TO SEEDED LUMN. SOO SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ONE- HALF INCH (1/2"), PLUS OR MINUS ONE QUARTER INCH (1/4"). AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND PATCHES. SOO SHALL BE IN ROLLS NO LESS THAN TWELVE INCHES (12") WIDE AND FOUR FEET (4') LONG AND NOT MORE THAN SIX FEET (6') LONG. GRASS BLADES WILL BE CUT TO A UNIFORM LENGTH. THE GRASS SHALL BE WELL ESTABLISHED (AT LEAST ONE YEAR OLD), VIGOROUS, HEALTHY, AND GROWING. IT SHALL BE FREE OF DISEASE AND NOXIOUS PERENNIAL WEEDS. SOO SHALL BE OF GOOD AND HEALTHY COLOR WHEN DELIVERED. ROLLS AND STRIPS WILL BE FIRM AND SOLID WITHOUT CRUMBLING OR TEARING. SOO SHALL BE HARVESTED AND DELIVERED WITHIN A 36 HOUR PERIOD, AND ALL PRE-CAUTIONS MUST BE TAKEN TO PREVENT THE SOO FROM DRYING WHILE IN TRANSPORT TO THE SITE.
- GRASS SEED SHALL MEET THE REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF AGRICULTURE, AND NO "BELOW STANDARD" SEED WILL BE ACCEPTED. SEED SHALL BEAR THE GROWER'S GUARANTEE OF ANALYSIS, NET WEIGHT, OR OTHERWISE CONTAMINATED SEED SHALL BE REJECTED.
- ALL PLANTINGS SHALL CONFORM TO THE STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN".
- ALL PLANTINGS MUST BE GUARANTEED FOR A PERIOD OF TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE CITY. ALL TREES NOT SURVIVING TWO (2) YEARS SHALL BE REPLACED IN SAME TYPE. THE CONTRACTOR SHALL REMOVE STAKING, CULPING, AND WRAP AT THE END OF THE GUARANTEED PERIOD.
- ALL SHADE TREES PROPOSED ALONG STREETS SHALL BE LOCATED IN THE DESIGNATED 'S' EASEMENT, UNLESS NOTED OTHERWISE.
- ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND/OR VARIETY, HAVING WELL DEVELOPED BRANCHES AND HEALTHY ROOT SYSTEMS. THEY SHALL BE SOUND HEALTHY, VIGOROUS, AND FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFESTATION.
- ALL TREES AND PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING THE SPECIES AND VARIETY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADE AND ALIGNMENT.
- PERFORM PLANTING ONLY DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH LOCAL ACCEPTED PRACTICES.
- AREAS AROUND ALL PLANTINGS SHALL RECEIVE A MINIMUM LAYER OF 4" OF SHREDDED BARK MULCH OVER "MIRACAP" WEED MAT BY MESH OR APPROVED EQUAL.
- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF FITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PERCOLATION DOES NOT OCCUR, MEASURES SHALL BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- FOR THE CONSTRUCTION OF THIS LANDSCAPING PLAN, THE CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS, STANDARDS AND SPECIFICATIONS REQUIRED BY ORDINANCES.

SOIL P.H. NOTES

- THE DESIRED PH LEVEL FOR ALL DESIGNED SPECIES IN THIS PLAN IS 6.5 TO 7.0.
- THE CONTRACTOR SHALL VERIFY ACIDITY OR ALKALINITY OF SOILS PRIOR TO PLANTING AND TAKE ALL NECESSARY MEASURES TO REACH THE PROPER PH LEVELS FOR PLANTING.
- TO ADJUST SOIL PH USE GROUND LIMESTONE, POWDER SULFUR AND ALUMINUM SULFATE AS FOLLOWS:

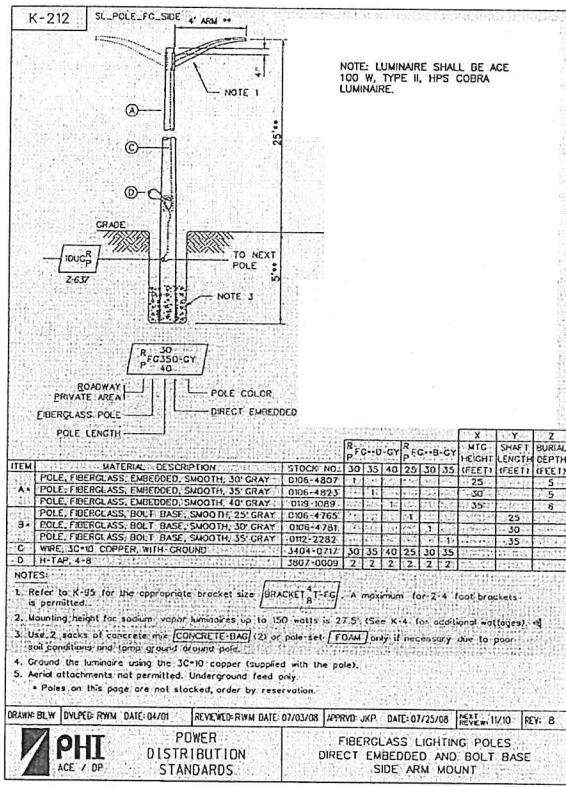
A. TO RAISE PH ONE POINT SPREAD GROUND LIMESTONE	SANDY LOAM	LOAM	CLAY LOAM
PER 1000 S.F.	60 LB.	110 LB.	120 LB.
PER ACRE	1 1/2 TONS	2 TONS	2 1/2 TON
B. TO LOWER PH ONE POINT SPREAD POWDER SULFUR			
PER 1000 S.F.	7 LB.	10 LB.	14 LB.
PER ACRE	300 LB.	430 LB.	90 LB.
C. SPREAD ALUMINUM SULFATE			
PER 1000 S.F.	50 LB.	70 LB.	800 LB.
PER ACRE	2000 LB.	3000 LB.	3500 LB.

PLANTING LIST							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	COMMENT	MATURE HEIGHT
DECIDUOUS TREES							
AR	31	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	10-12 FEET	2 1/2 INCHES*	B&B	40-50 FEET
OT	43	OLEDTISIA TRACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	10-12 FEET	2 1/2 INCHES*	B&B	50-70 FEET
MS	43	NYSSA SYLVATICA 'WILDFIRE'	'WILDFIRE' BLACK OLM	10-12 FEET	2 1/2 INCHES*	B&B	30-50 FEET
QP	16	QUERCUS PALUSTRIS	PIN OAK	10-12 FEET	2 1/2 INCHES*	B&B	50-70 FEET
TL	31	TILIA TOMENTOSA	SILVER LINDEN	10-12 FEET	2 1/2 INCHES*	B&B	50-70 FEET
ZS	42	ZELKOVIA SERRATA 'VILLAGE GREY'	JAPANESE ZELKOVIA	10-12 FEET	2 1/2 INCHES*	B&B	40-60 FEET
EVERGREEN TREES							
JY	22	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5-6 FEET	N/A	B&B	30-65 FEET
PA	42	PICEA ADRES	HORWAY SPRUCE	5-6 FEET	N/A	B&B	40-60 FEET
PC	26	PICEA PLUNGDENS 'SLAVAK'	COLORADO BLUE SPRUCE	5-6 FEET	N/A	B&B	30-50 FEET
PM	38	PISEUDOTSUGA MICHXES	DOUGLAS FIR	5-6 FEET	N/A	B&B	40-80 FEET
IN	42	ILEX 'NELLIE R. STEVENS'	'NELLIE STEVENS' HOLLIE	5-6 FEET	N/A	B&B	15-25 FEET
ORNAMENTAL TREES							
CC	26	CORCIS CANADENSIS	EASTERN REDBUD	8-10 FEET	2 INCHES*	B&B	20-30 FEET
CK	31	CORNUS KOUSA	KOUSA DOGWOOD	8-10 FEET	2 INCHES*	B&B	15-30 FEET
MC	26	MACHOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8-10 FEET	2 INCHES*	B&B	20-30 FEET
SHRUBS							
VR	32	VIBURNUM RHYTHIDOPHYLLUM	LEATHERLEAF VIBURNUM	24-36 INCHES	N/A	B&B	8-10 FEET
IG	172	ILEX CLABRA 'SHAMROCK'	SHAMROCK HIBERRY	18-24 INCHES	N/A	J5 CONT.	3-4 FEET
IV	141	ILEX VERTICILLATA X SERRATA 'SPARKLEBERRY'	SPARKLEBERRY WINTERBERRY HOLLY	24-36 INCHES	N/A	J5 CONT.	6-8 FEET
MP	117	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	24-36 INCHES	N/A	J5 CONT.	5-10 FEET

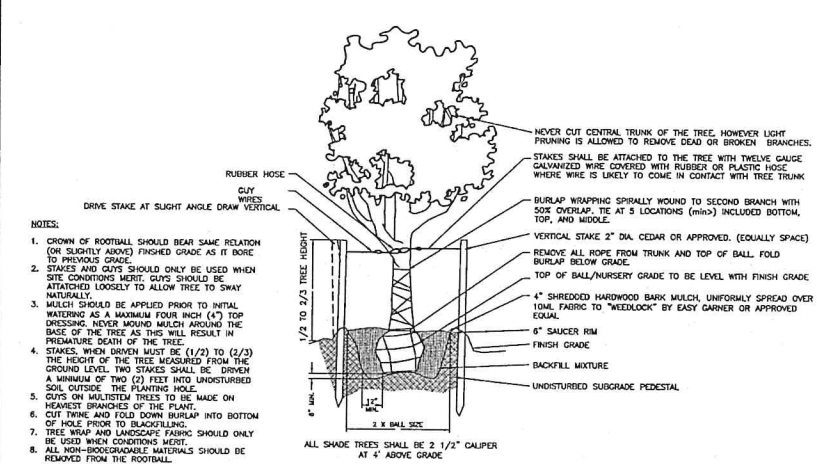
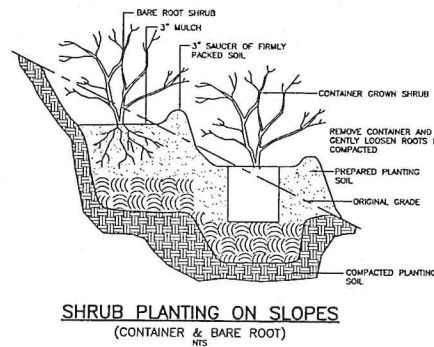
* CALIPER OF TREE MEASURED AT 4' ABOVE GRADE

LUMINAIRE SCHEDULE

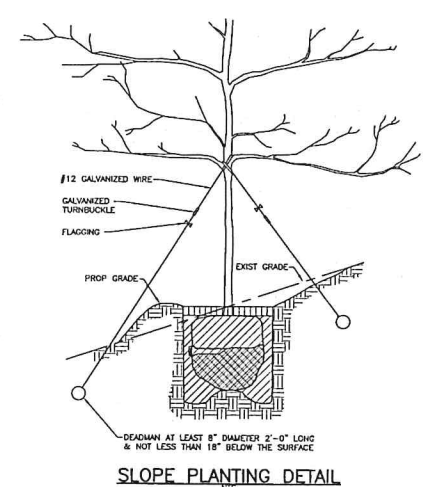
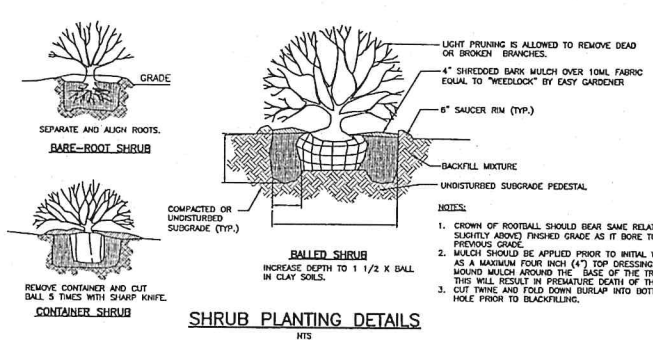
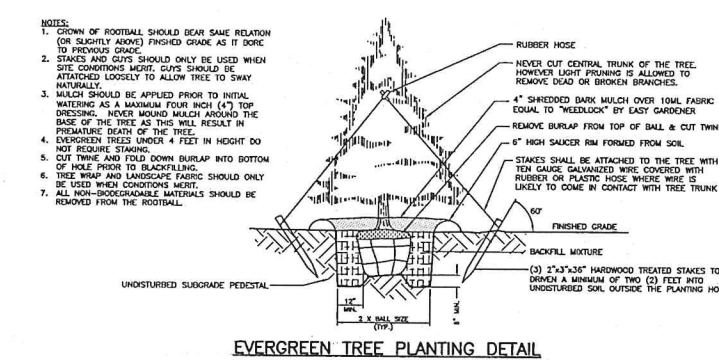
SYMBOL	QUANTITY	ARRANGEMENT	MANUFACTURER	DESCRIPTION	CATALOG #	MOUNTING HEIGHT
—■—	11	SINGLE/COBRA	AMERICAN ELECTRIC LIGHTING	115 SERIES 15W 125 TYP# 1 SHORT CUTOFF	115-075-R2-00	25 FEET
—■—	13	SINGLE/COBRA	AMERICAN ELECTRIC LIGHTING	115 SERIES 150W 100 TYP# 2 SHORT BEND CUTOFF	115-130-R2-00	25 FEET



LIGHT POLE DETAIL



EVERGREEN TREE PLANTING DETAIL



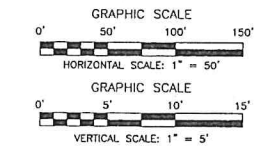
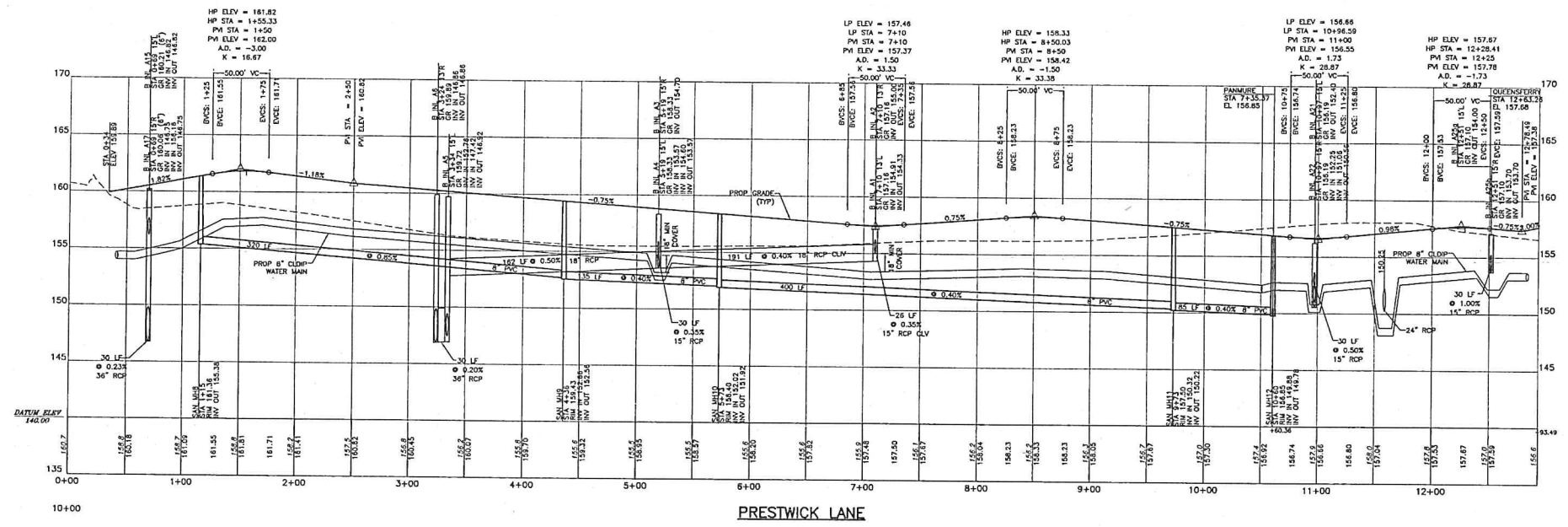
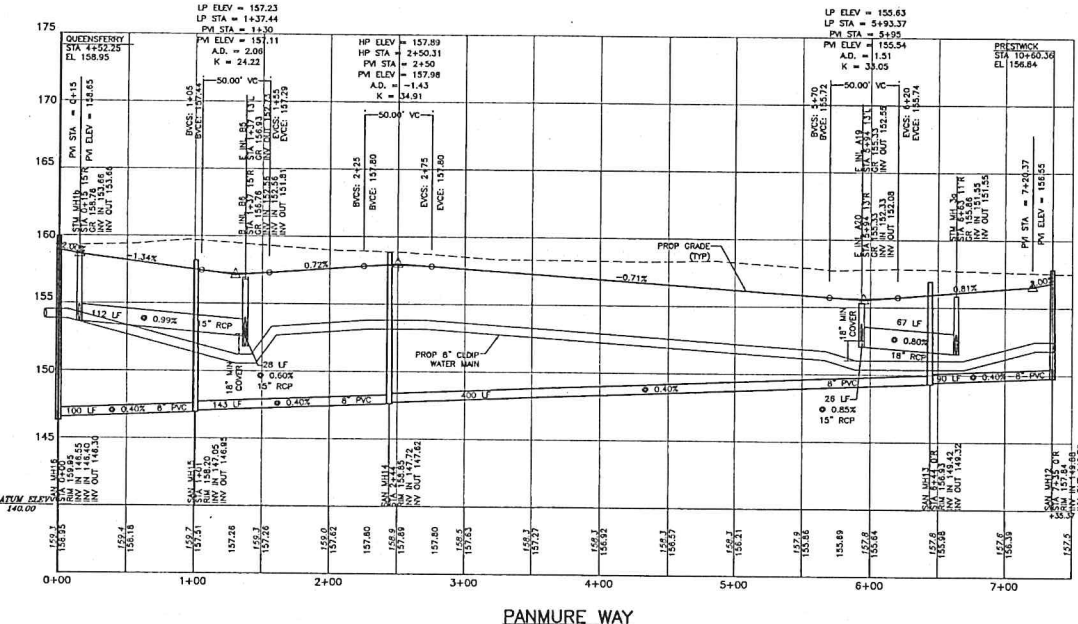
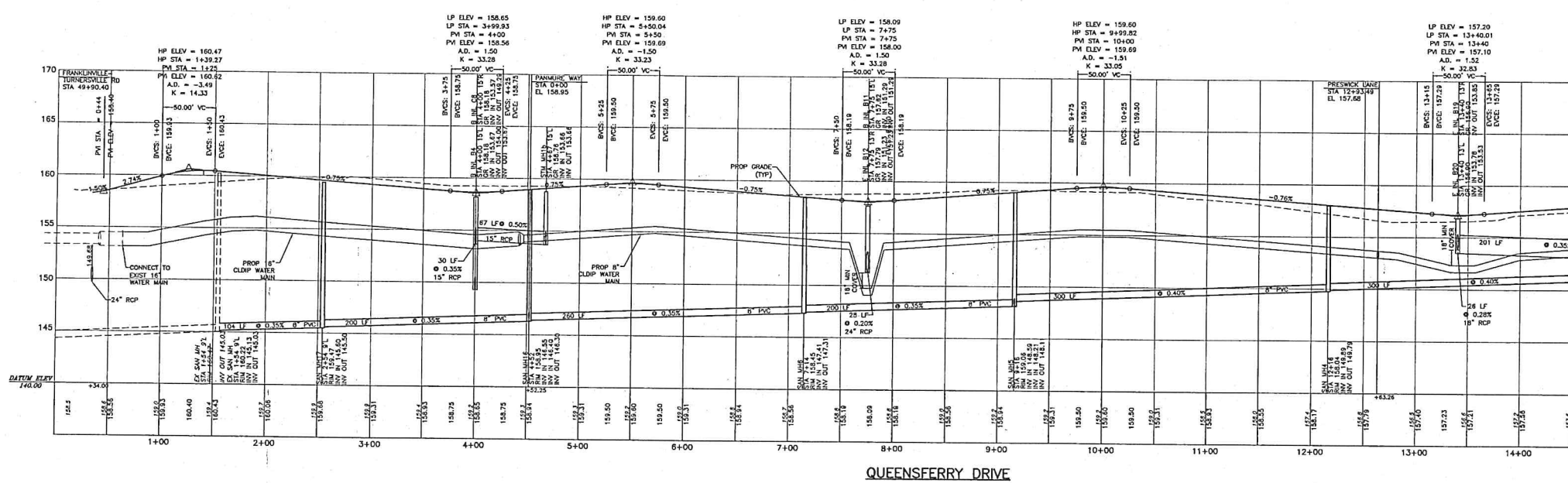
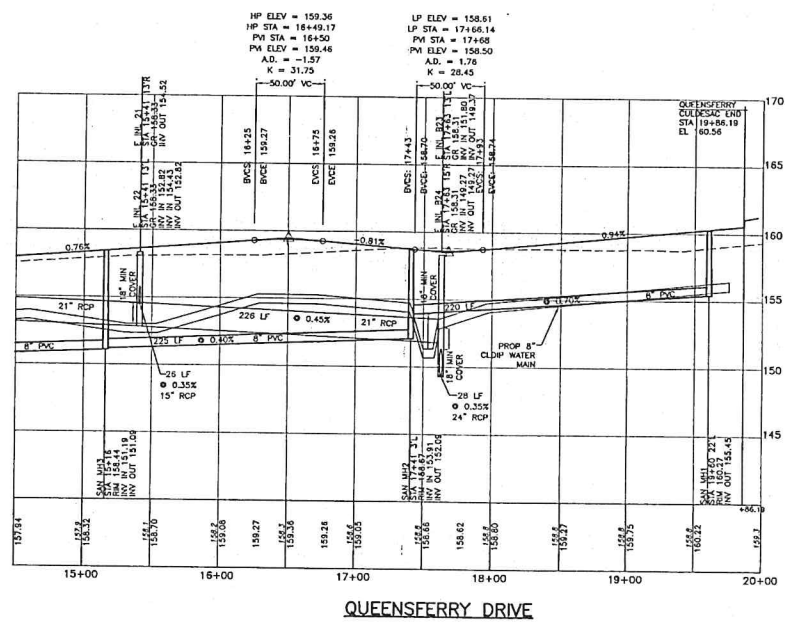
DATE: 06/25/10
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

LANDSCAPE & LIGHTING NOTES & DETAILS
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: BERLIN-CROSS SERVICES CONSULTING ENGINEERS, PLANNERS & LANDSCAPE ARCHITECTS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEWILLE, NEW JERSEY 08081
 PHONE: (609) 426-1100 FAX: (609) 426-1101
 ALL RIGHTS RESERVED © 2008 BERLIN-CROSS SERVICES

DATE: 06/25/10 SCALE: AS SHOWN, SEE PLAN 2244-05, FILE NO. 2244-05, SHEET 11
 DRAWN BY: MS

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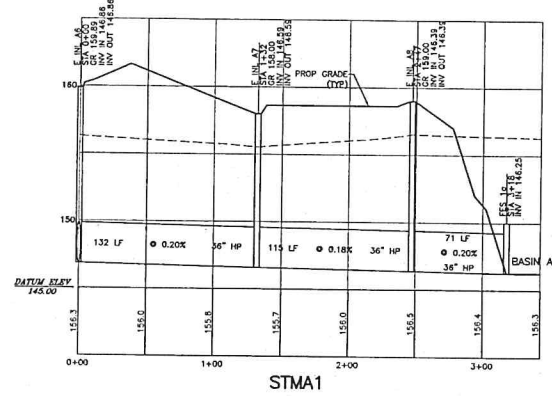
PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
445 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLERVILLE, NEW JERSEY 08081
PHONE (609) 426-1111 FAX (609) 426-1111
NJ CERTIFICATE OF AUTHORIZATION NO. 2402787700

ROAD PROFILES
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

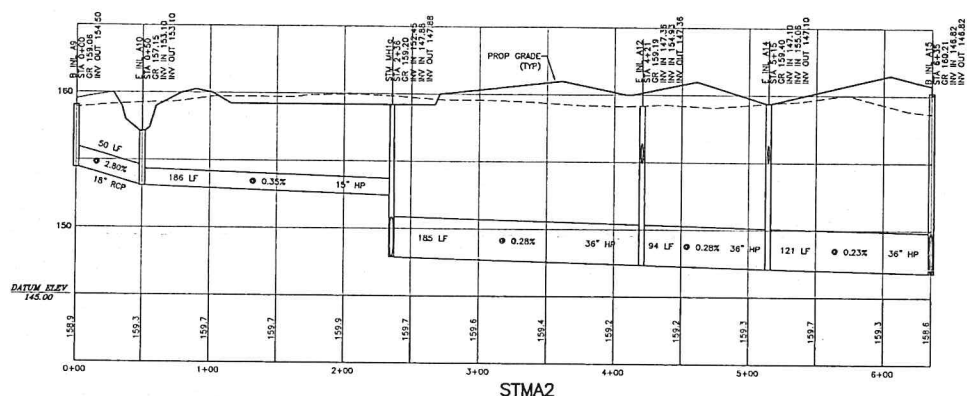
NO.	DATE	REVISIONS

PAUL A. WITTHORN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300
DATE 01/10/00

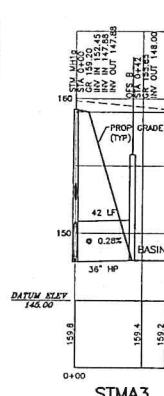




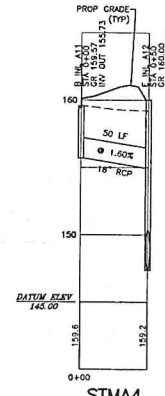
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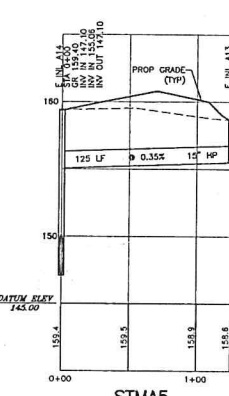
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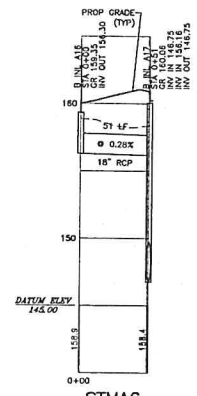
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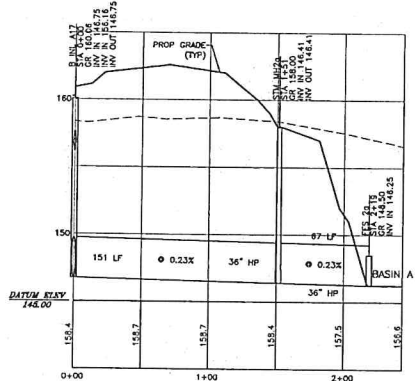
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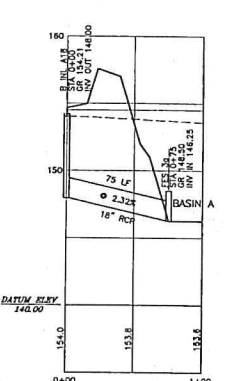
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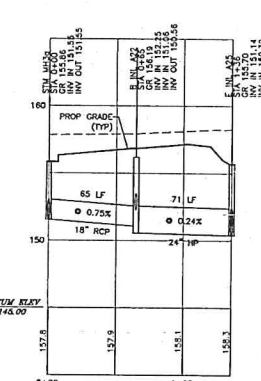
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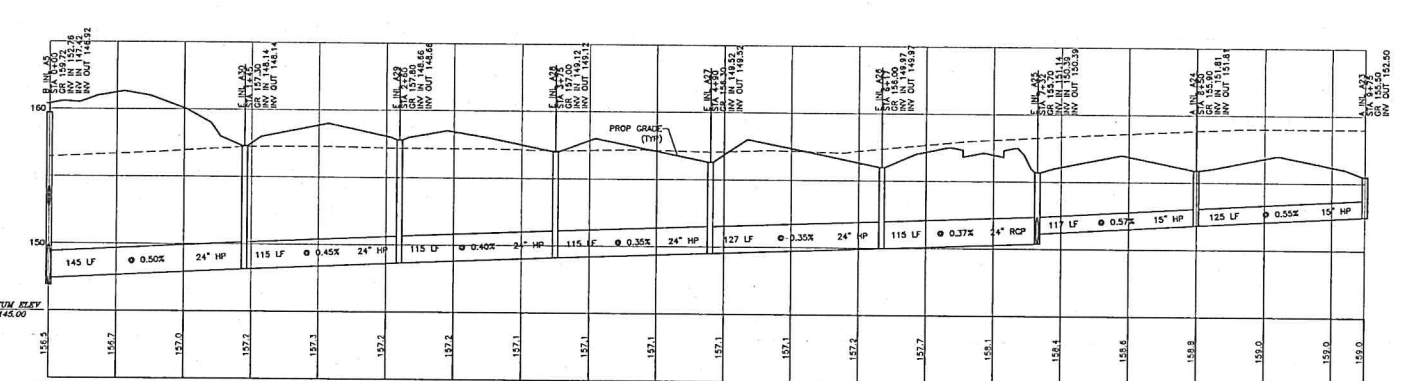
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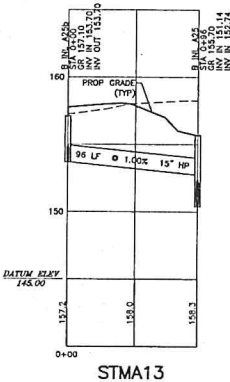
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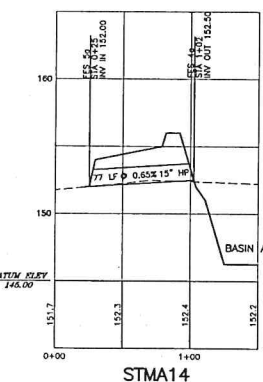
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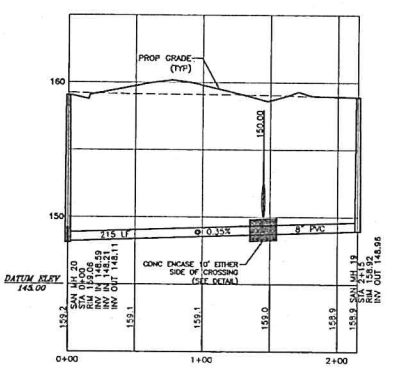
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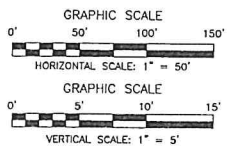
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STMA14



SAN1



PROFILES

THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

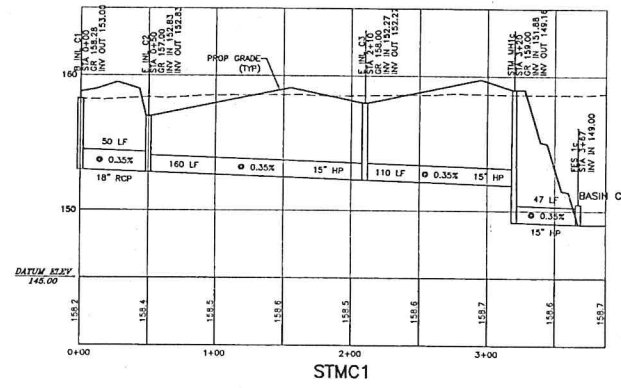
PREPARED BY: SERVICES
 CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
 645 BERUN-CROSS KEYS ROAD, SUITE 1, SICKLENVILLE, NEW JERSEY 08081
 PHONE (609) 426-1111 FAX (609) 426-1111
 IN COMPLIANCE WITH THE PROVISIONS OF N.J.A.C. 17:27
 AUTHORIZATION NO. 2462787700



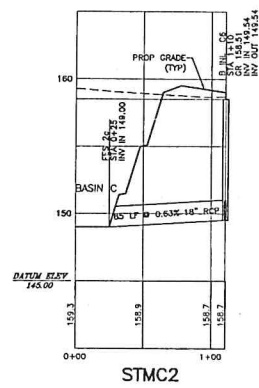
PAUL A. WITTOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

DATE	REVISIONS

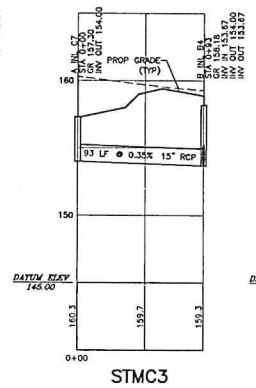
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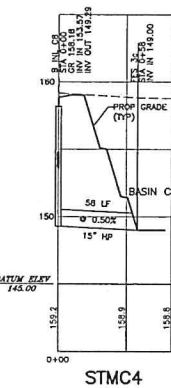
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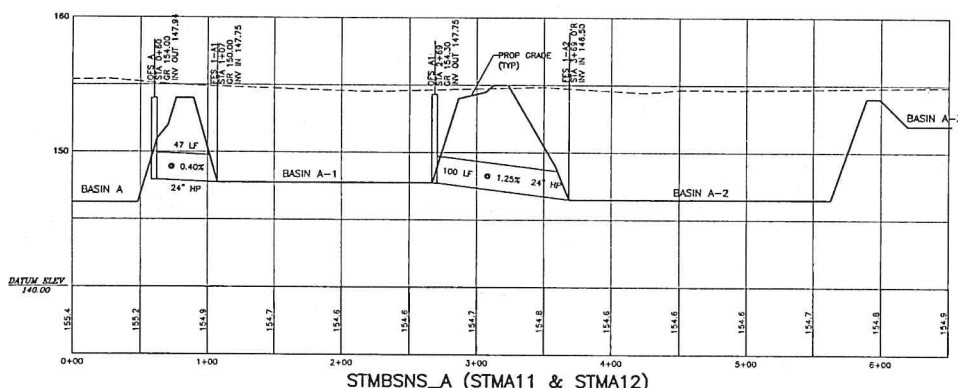
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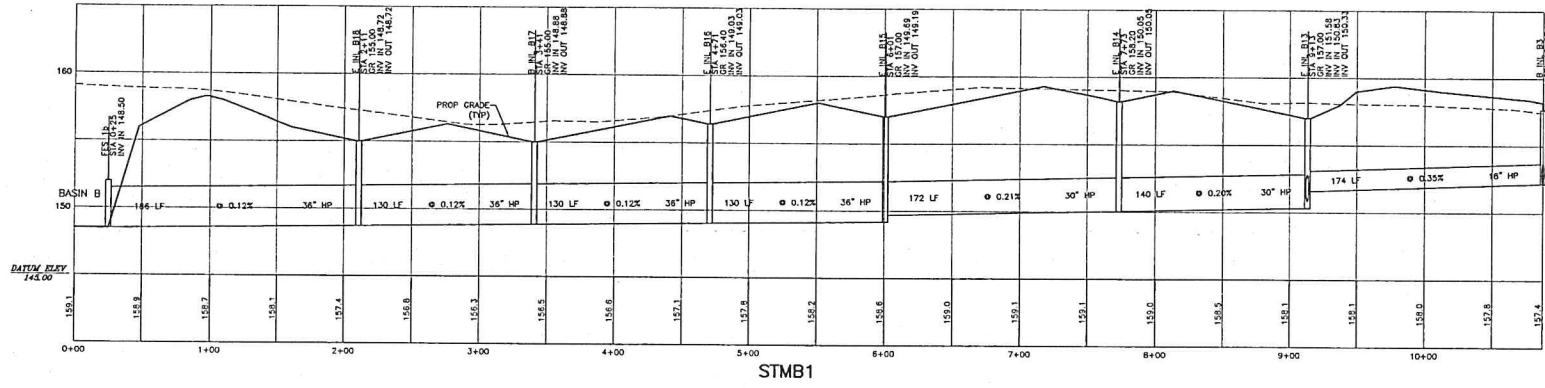
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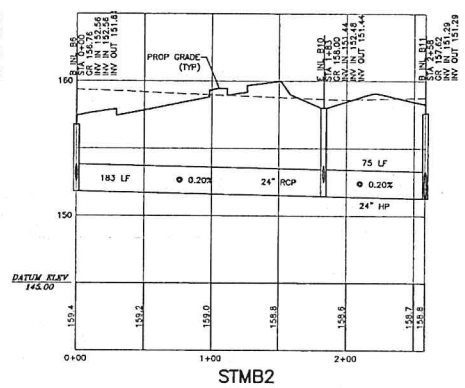
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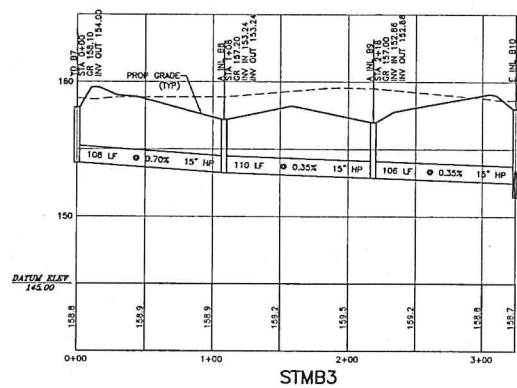
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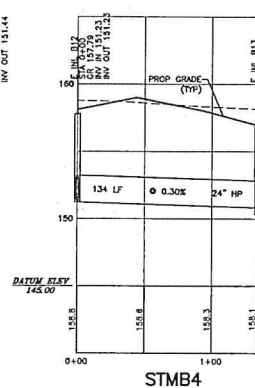
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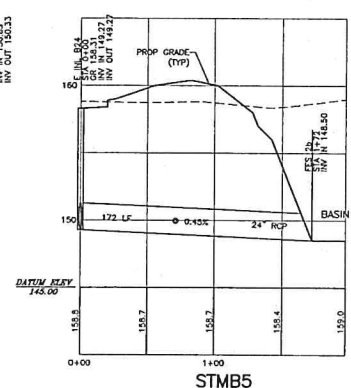
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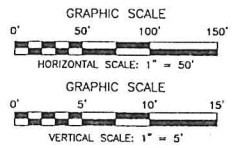
STMB3



STMB4



STMB5



PROFILES

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
645 BERLIN-CROSS VETS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY 08081
PHONE (609) 426-2200 - FAX (609) 250-2248 - EMAIL: info@ces-nj.com

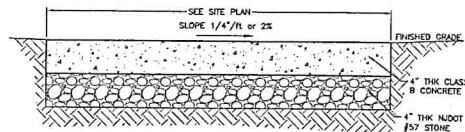


DATE: 06/20/14 FILE NO.: 2014-02-001 DRAWN BY: JAM

NO.	DATE	DESCRIPTION
1	06/20/14	ISSUED FOR PERMIT

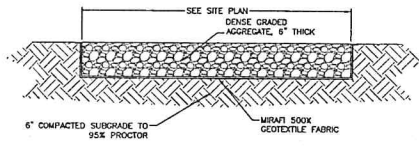
PAUL A. WITTHOHN
DATE: 06/20/14

PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 2460-749300

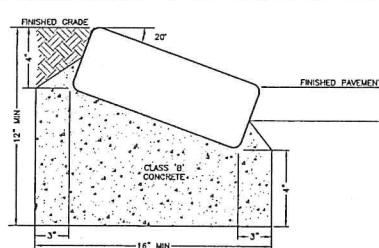


- NOTES
1. EXPANSION JOINTS SHALL BE PROVIDED WITH FILLER MATERIALS NOT MORE THAN 20 FEET APART.
 2. TRANSVERSE SURFACE GROOVES SHALL BE CUT IN THE WALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO WALK WIDTH.
 3. SIDEWALK SLOPE SHALL BE PITCHED TOWARD THE CUTTER LINE.
 4. SIDEWALK SHALL BE 4" THICK AT DRIVEWAY CROSSINGS.
 5. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
 6. IF SUBGRADE IS IN POOR CONDITION, 4" THICK NODOT #57 STONE SHALL BE PROVIDED, IF AND WHERE DIRECTED BY THE TOWNSHIP ENGINEER.

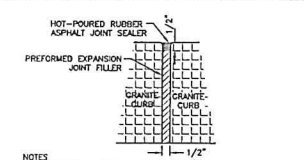
CONCRETE SIDEWALK (W/SUBBASE)
NTS



STONE ACCESS ROAD DETAIL
NTS

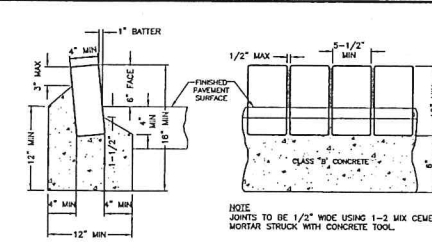


MOUNTABLE GRANITE CURB
NTS

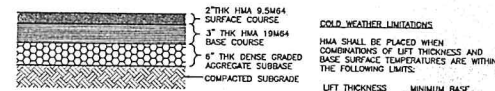


- NOTES
1. 1/2" WIDE EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB, AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF ASTM SPEC. M-213, RECESSED 1/4" FROM FACE AND TOP OF CURB.
 2. EXPANSION JOINTS SHALL BE PROVIDED NOT MORE THAN 20 FEET APART.
 3. TRANSVERSE SURFACE GROOVES SHALL BE CUT IN THE WALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO WALK WIDTH.
 4. SIDEWALK SLOPE SHALL BE PITCHED TOWARD THE GUTTER LINE.

EXPANSION JOINT DETAIL
NTS

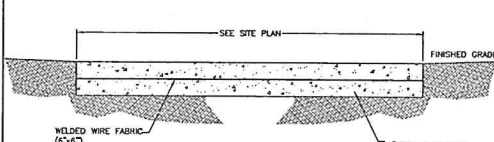


GRANITE BLOCK CURB DETAIL
NTS

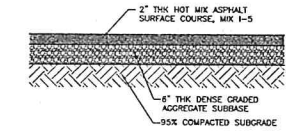


- NOTES
1. CUR TESTING TO BE PERFORMED AT THE TIME OF CONSTRUCTION TO CONFIRM SUBGRADE CUR LEVEL.
 2. THE MUNICIPAL ENGINEER SHALL REVIEW ALL CUR DATA AND APPROVE ANY PAVEMENT DESIGN CONSISTENT WITH RESULTS OF SAID TEST.

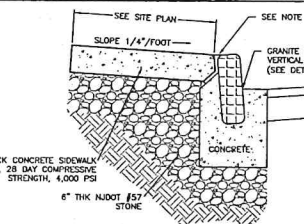
ASPHALT PAVING SECTION
NTS



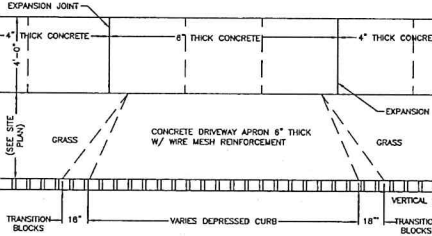
CONCRETE DRIVEWAY
NTS



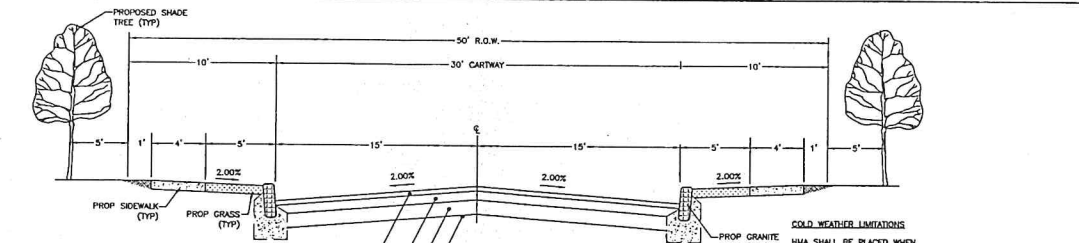
SECTION THROUGH TEMPORARY CUL-DE-SAC
NTS



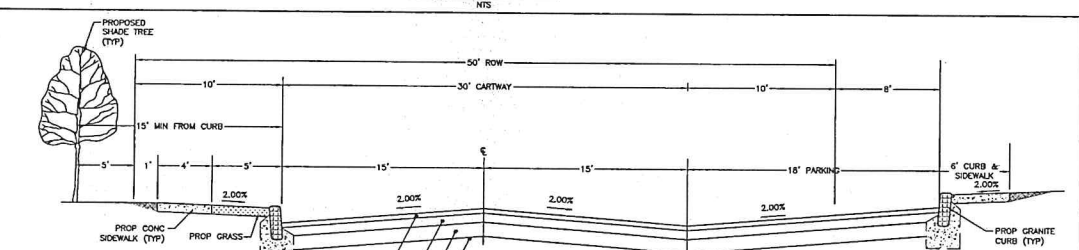
SIDEWALK/GRANITE CURB DETAIL
NTS



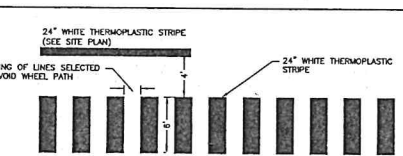
PLAN AT DRIVEWAY DEPRESSION
NTS



TYPICAL ROAD CROSS-SECTION INTERIOR ROADS
NTS



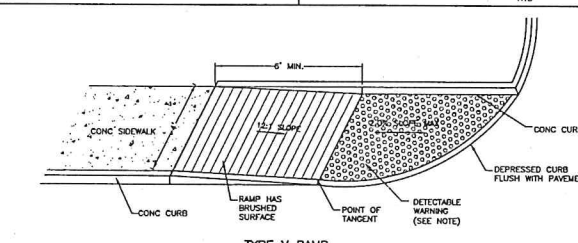
TYPICAL CROSS-SECTION INTERIOR ROADS W/18' PARKING STALLS ONE SIDE (RT)
NTS



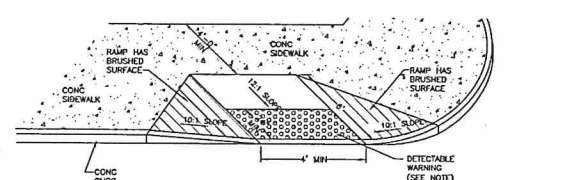
CONTINENTAL STRIPE CROSSWALK W/ STOP LINE
NTS



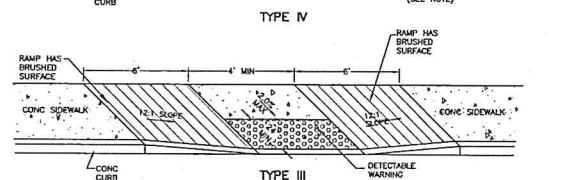
SIGN DETAILS
NTS



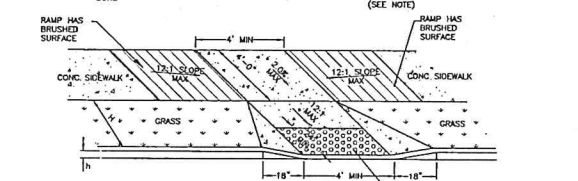
TYPE V RAMP
NTS



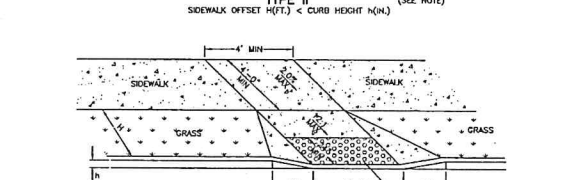
TYPE IV
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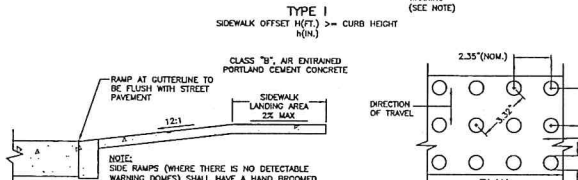
TYPE III
NTS



TYPE II
NTS

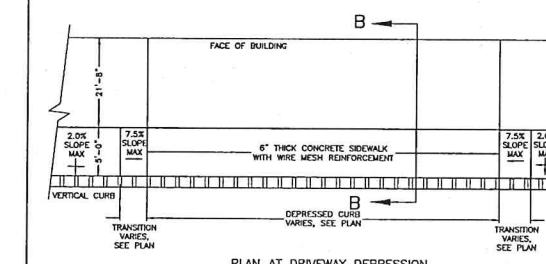


TYPE I
NTS

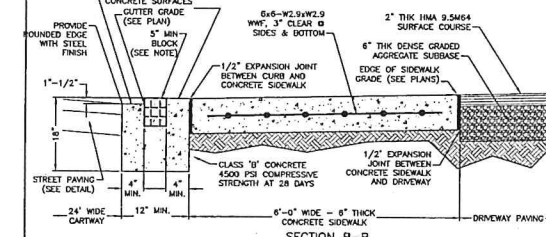


- CONSTRUCTION NOTES
1. CURB RAMPS SHALL HAVE AS A MINIMUM A 24" WIDE STRIP OF DETECTABLE WARNING DOMES.
 2. DETECTABLE WARNING DOMES SHALL BE STAMPED IN PLACE CONCRETE AS MANUFACTURED BY "COBLOCRETE" OR "INCRETE SYSTEMS" OR APPROVED EQUAL.
 3. FINISH TO BE "SAFETY RED" PAINT.

HANDICAP RAMP DETAILS
NTS

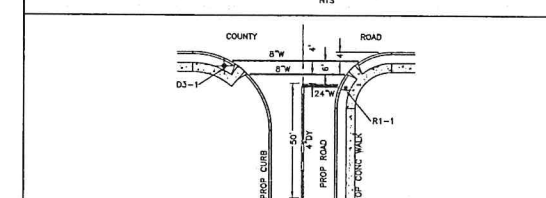


PLAN AT DRIVEWAY DEPRESSION
NTS



SECTION B-B
NTS

GARAGE/APARTMENT DRIVEWAY APRON WITH MOUNTABLE GRANITE CURB
NTS



- NOTES
1. ALL TRAFFIC STRIPES, MARKINGS, SIGNS, AND SIGN SUPPORTS SHALL CONFORM WITH NDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, AND THE MUTCD, 2009, WITH ALL APPLICABLE AMENDMENTS.
 2. ALL 4" STRIPING SHALL BE LONG LET, EXCEPT FOR HOT THERMOPLASTIC MATERIAL (MIN THICK). ALL OTHER TRAFFIC STRIPING AND MARKINGS ON THE COUNTY ROAD SHALL BE HOT THERMOPLASTIC MATERIAL (MIN THICK) CONFORMING TO THE CURRENT NDOT MATERIAL SPECIFICATIONS. CONTRACTOR SHALL HAVE STRIPING STRIPING AND PAVEMENT MARKINGS NOT CONFORMING TO THIS PLAN SHALL BE REMOVED BY WATER BLASTING OR GRINDING, AS APPROVED BY THE COUNTY ENGINEER.

INTERSECTION WITH COUNTY ROAD STRIPING DETAIL
NTS

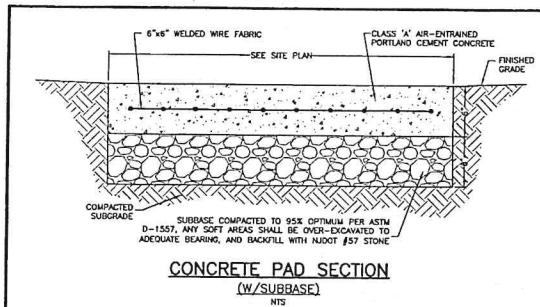
PAUL A. WITTHORN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

CONSTRUCTION DETAILS - SHEET A

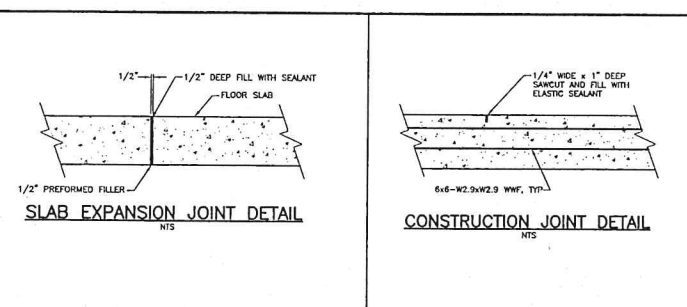
THE GREENS
PLATE 14B, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

DRAWN BY: JSD

PREPARED BY:
CONSULTING SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
646 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY 08881
PHONE: (908) 426-1111 FAX: (908) 426-1112
WWW.CONSULTINGSERVICESNJ.COM

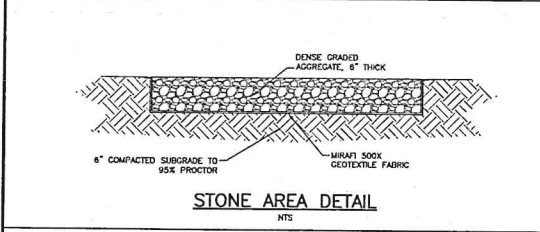


CONCRETE PAD SECTION
(W/SUBBASE)
NTS

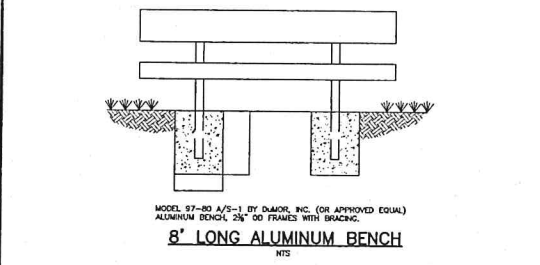


SLAB EXPANSION JOINT DETAIL
NTS

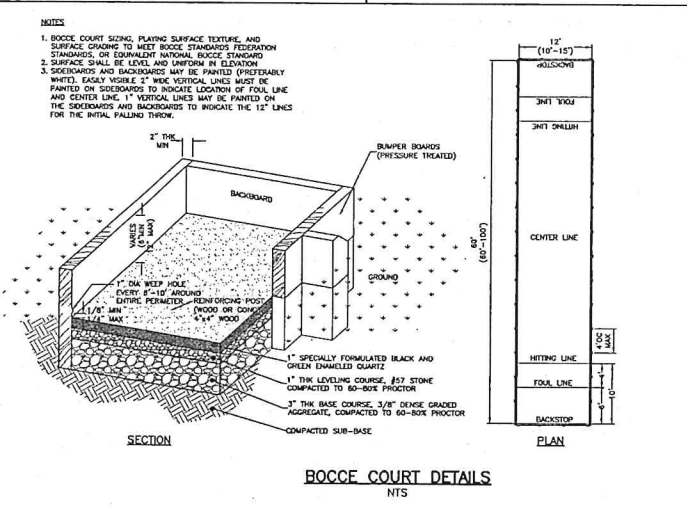
CONSTRUCTION JOINT DETAIL
NTS



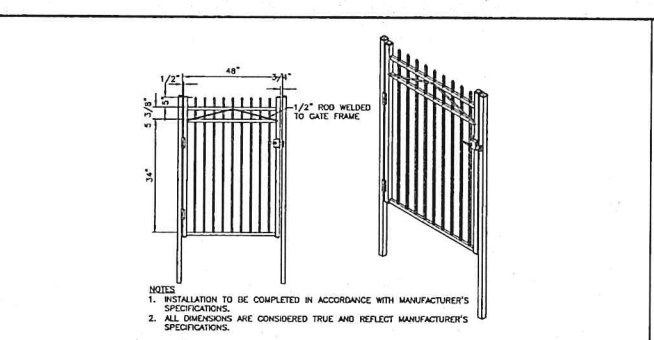
STONE AREA DETAIL
NTS



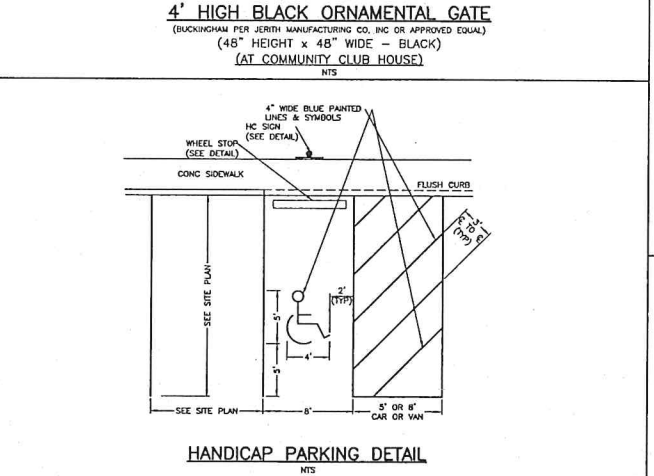
8' LONG ALUMINUM BENCH
NTS



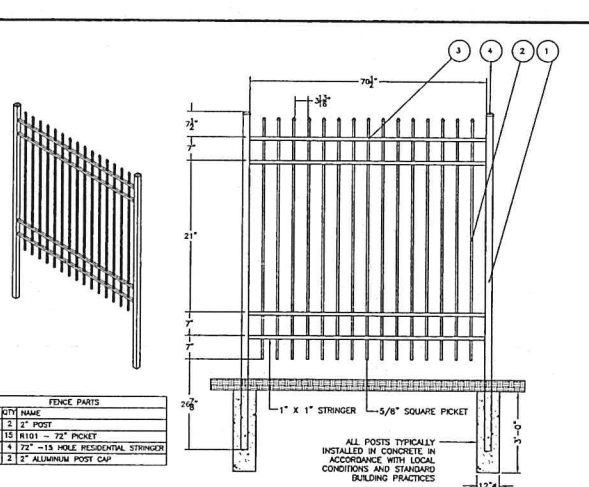
BOCCE COURT DETAILS
NTS



4' HIGH BLACK ORNAMENTAL GATE
(BUCKINGHAM PER JERTH MANUFACTURING CO. INC OR APPROVED EQUAL)
(48" HEIGHT x 48" WIDE - BLACK)
(AT COMMUNITY CLUB HOUSE)
NTS

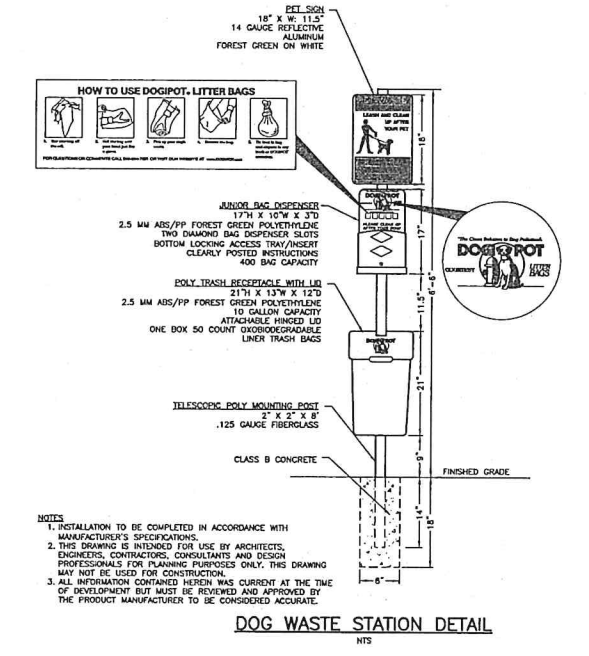


HANDICAP PARKING DETAIL
NTS

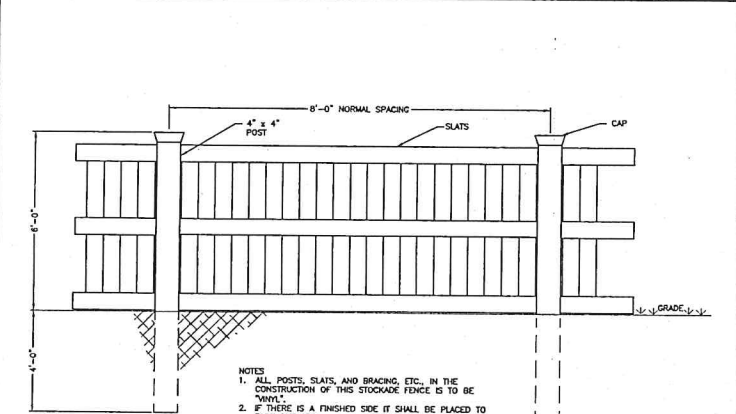


4' HIGH BLACK ORNAMENTAL FENCE
(BUCKINGHAM PER JERTH MANUFACTURING CO. INC OR APPROVED EQUAL)
(48" HEIGHT x 48" WIDE - BLACK)
(AT COMMUNITY CLUB HOUSE)
NTS

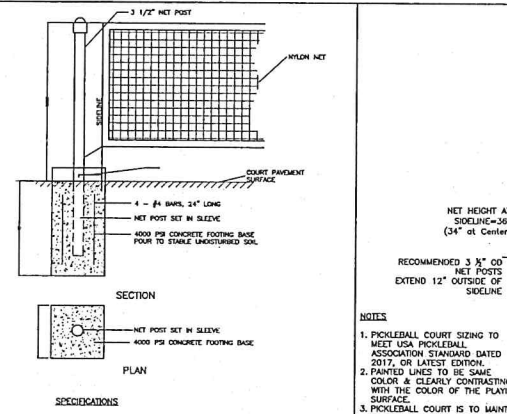
FENCE PARTS	
ITEM #	DESCRIPTION
1	2" POST
2	1 1/2" RIVET - 2" PICKET
3	1/2" x 1" STRINGER
4	2" ALUMINUM POST CAP



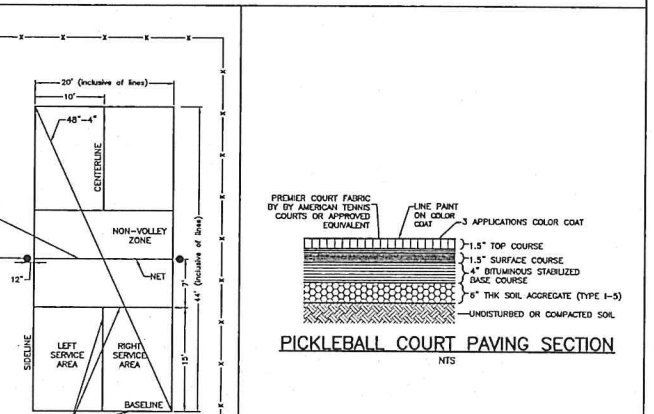
DOG WASTE STATION DETAIL
NTS



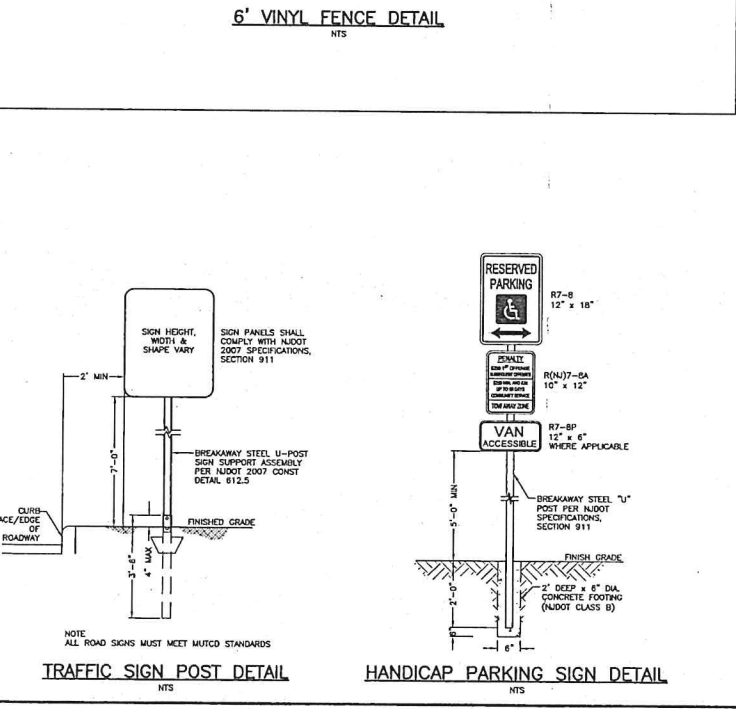
6' VINYL FENCE DETAIL
NTS



NET POST, FENCE & FOOTING DETAIL
NTS

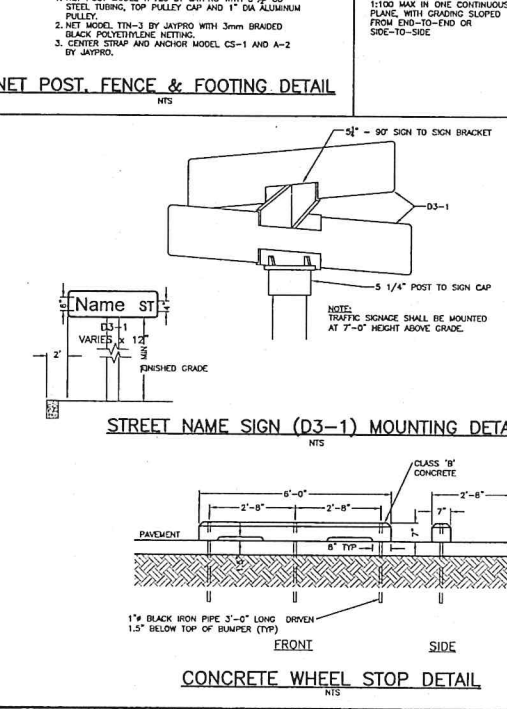


PICKLEBALL COURT PAVING SECTION
NTS

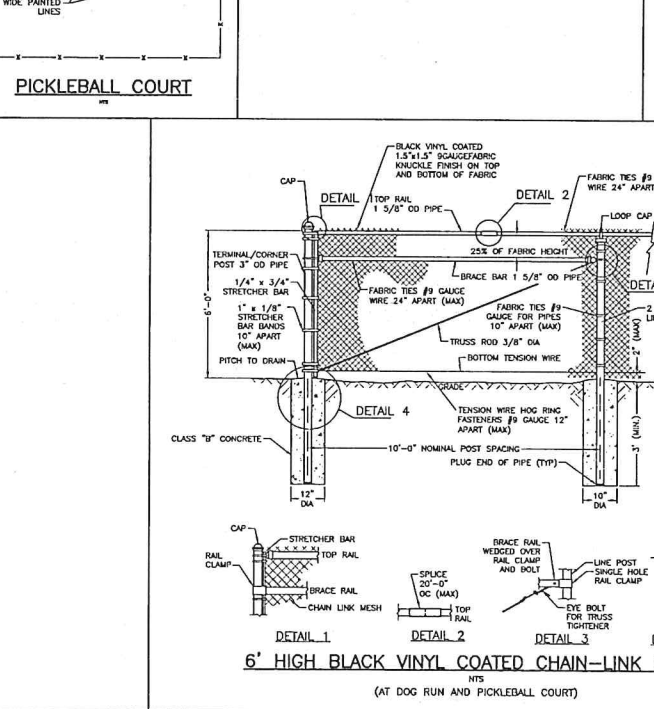


TRAFFIC SIGN POST DETAIL
NTS

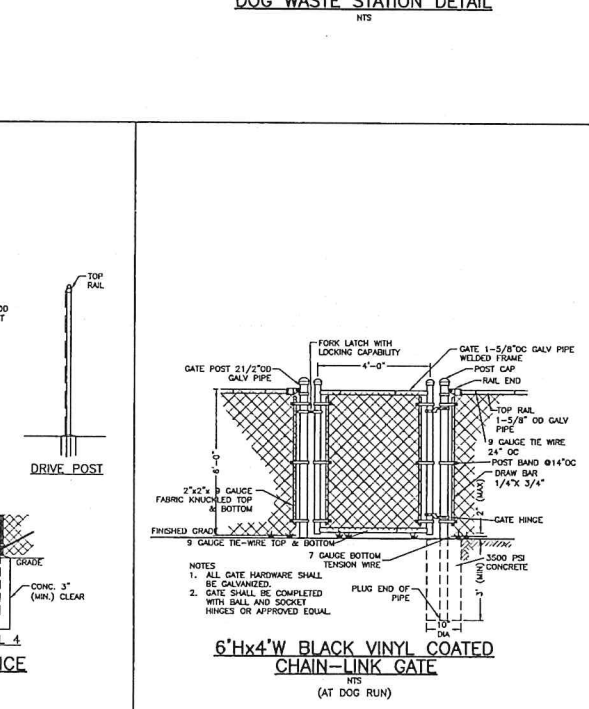
HANDICAP PARKING SIGN DETAIL
NTS



CONCRETE WHEEL STOP DETAIL
NTS



6' HIGH BLACK VINYL COATED CHAIN-LINK FENCE
(AT DOG RUN AND PICKLEBALL COURT)
NTS



6'Hx4'W BLACK VINYL COATED CHAIN-LINK GATE
(AT DOG RUN)
NTS

DATE: 04/10/20
PAUL A. WITTHORN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

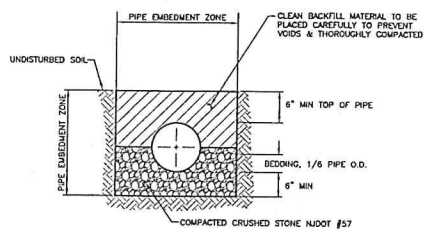
CONSTRUCTION DETAILS - SHEET B

THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

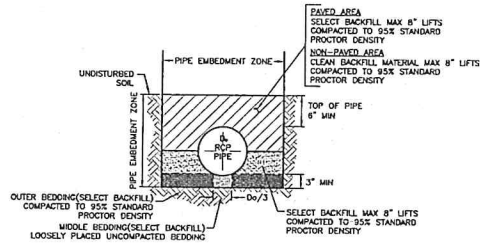
DRAWN BY: SJS

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS
645 BERLIN-CROSS WETS ROAD, SUITE 11, RICKLESVILLE, NEW JERSEY 08081
PHONE (609) 426-1111 FAX (609) 426-1112
WWW.CES-PA.COM

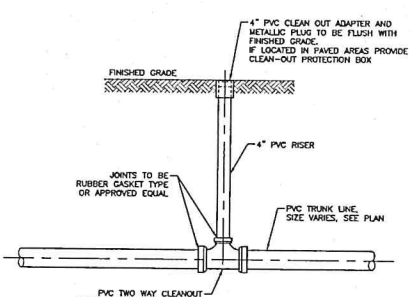
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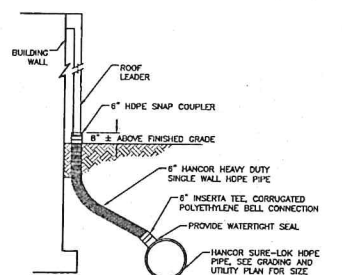
CRUSHED STONE BEDDING DETAIL
NTS



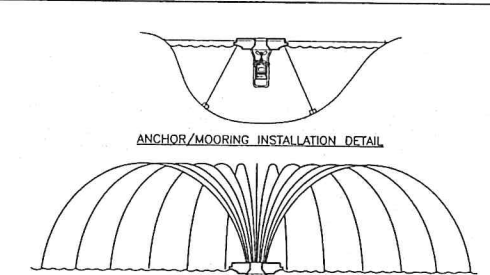
TRENCH DETAIL FOR RCP PIPE
NTS



ROOF DRAIN CLEAN-OUT DETAIL
NTS



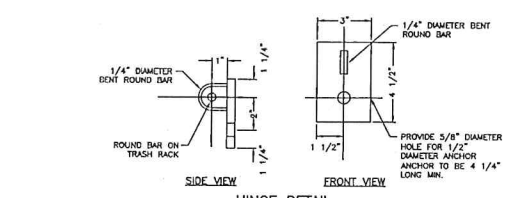
ROOF DRAIN CONNECTION
NTS



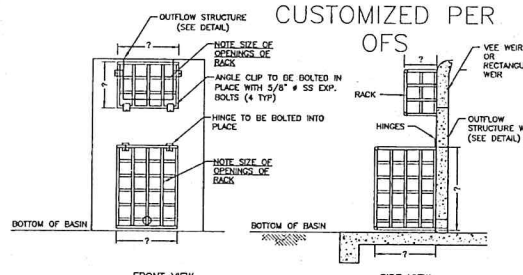
SUNBURST SURFACE SPRAY AERATOR
NTS

QTY	NO.	DESCRIPTION	UNIT
1	1	ANCHOR/MOORING	EA
1	2	ANCHOR/MOORING	EA
1	3	ANCHOR/MOORING	EA
1	4	ANCHOR/MOORING	EA
1	5	ANCHOR/MOORING	EA
1	6	ANCHOR/MOORING	EA
1	7	ANCHOR/MOORING	EA
1	8	ANCHOR/MOORING	EA
1	9	ANCHOR/MOORING	EA
1	10	ANCHOR/MOORING	EA
1	11	ANCHOR/MOORING	EA
1	12	ANCHOR/MOORING	EA
1	13	ANCHOR/MOORING	EA
1	14	ANCHOR/MOORING	EA
1	15	ANCHOR/MOORING	EA
1	16	ANCHOR/MOORING	EA
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1	19	ANCHOR/MOORING	EA
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1	22	ANCHOR/MOORING	EA
1	23	ANCHOR/MOORING	EA
1	24	ANCHOR/MOORING	EA
1	25	ANCHOR/MOORING	EA
1	26	ANCHOR/MOORING	EA
1	27	ANCHOR/MOORING	EA
1	28	ANCHOR/MOORING	EA
1	29	ANCHOR/MOORING	EA
1	30	ANCHOR/MOORING	EA

NOTE: 1. EACH BASIN TO BE PROVIDED WITH AN AERATING FOUNTAIN AS MANUFACTURED BY OTTERBERG BARBER, INC. SUNBURST MODEL 200 (2 HO) OR MODEL 300 (3 HO). THE FLOATING AERATING FOUNTAIN SHALL BE ANCHORED TO THE BASIN BOTTOM PER THE MANUFACTURER'S SPECIFICATIONS. SEE SURFACE SPRAY DETAIL AND ANCHORING/MOORING DETAIL.

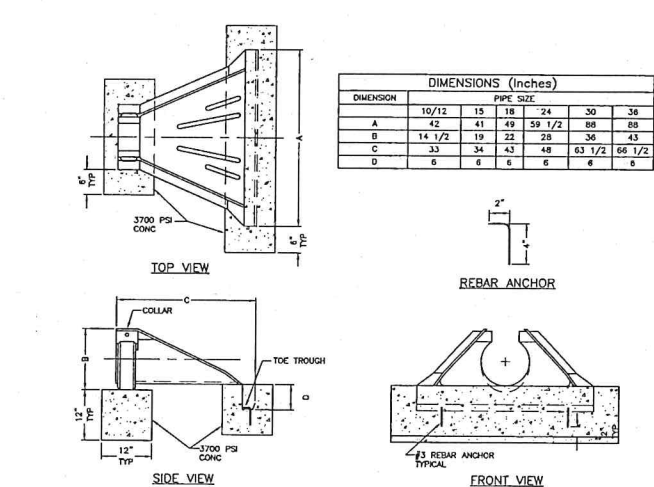


TRASH RACK DETAIL
NTS

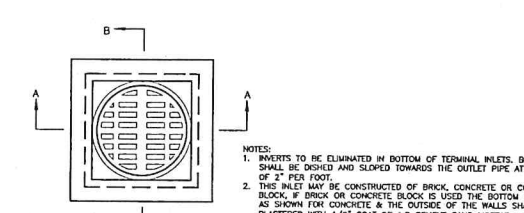


DETAIL MUST BE CUSTOMIZED PER OFS

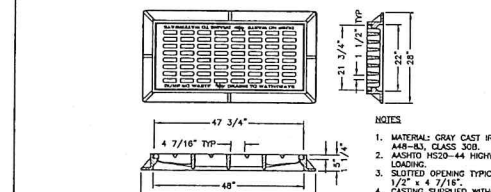
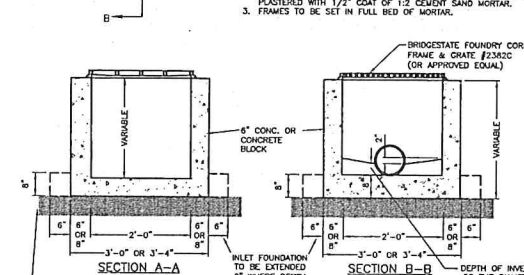
DIMENSIONS (Inches)	
DIMENSION	PIPE SIZE
A	16 1/2 15 18 24 30 36
B	42 41 49 59 72 88 88
C	14 1/2 19 22 28 36 43
D	33 34 43 48 63 72 66 72
E	6 6 6 6 6 6 6 6



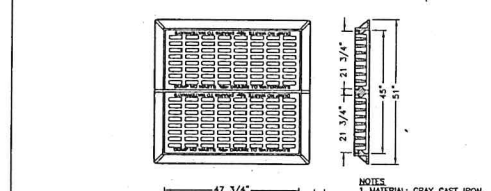
HDPE FLARED END SECTION DETAIL
NTS



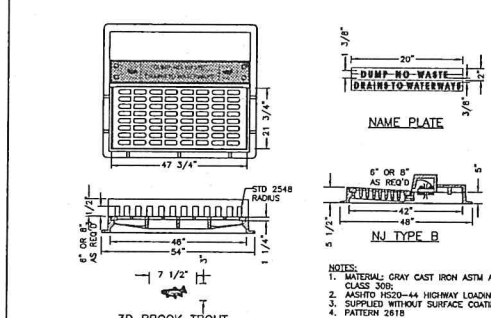
YARD INLET DETAIL
NTS



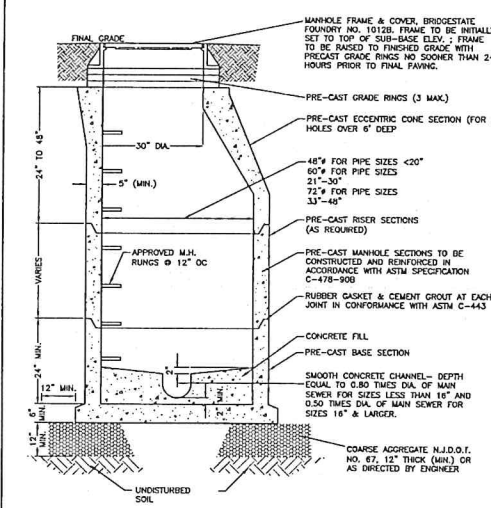
HEAVY DUTY TYPE A INLET FRAME WITH BICYCLE SAFE GRATES
NTS



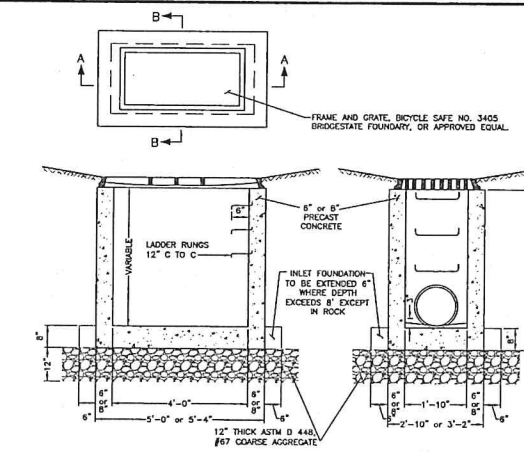
HEAVY DUTY TYPE E INLET FRAME WITH BICYCLE SAFE GRATES
NTS



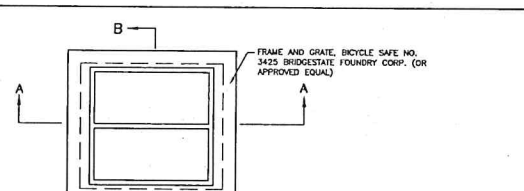
CURB INLET WITH BICYCLE SAFE GRATE AND TYPE J-ECO CURB PIECE
NTS



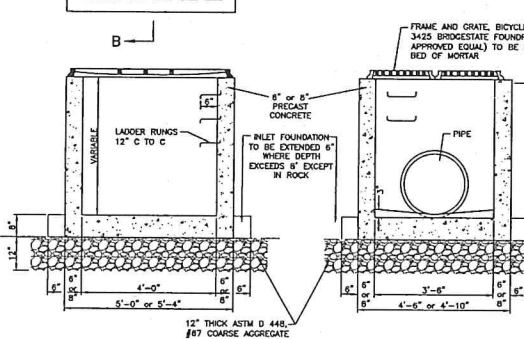
PRECAST CONCRETE STORM MANHOLE DETAIL
NTS



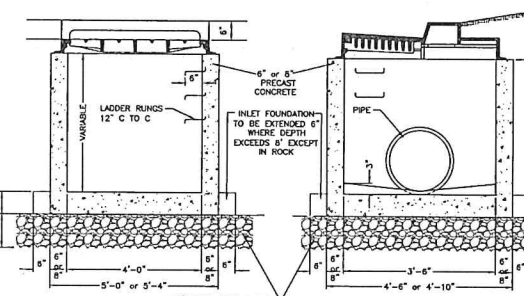
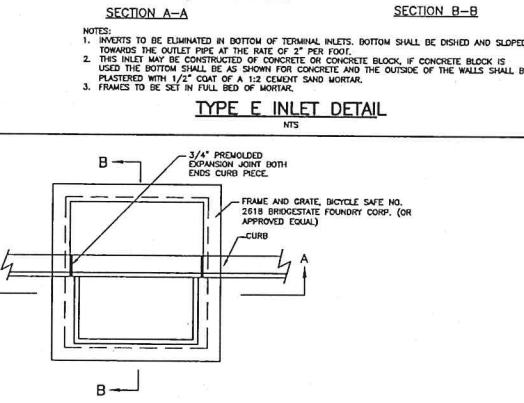
TYPE A INLET DETAIL
NTS



TYPE E INLET DETAIL
NTS



TYPE B INLET DETAIL
NTS



- NOTES:
- TRASH RACK(S) SHALL BE PROVIDED AT EVERY OUTLET STRUCTURE.
 - TRASH RACK(S) TO BE 5/8" DIA ALUMINUM ROUND OR APPROVED EQUAL.
 - THE FOLLOWING NOTES ARE TAKEN FROM NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL, LAST UPDATED SEPTEMBER 2014, CHAPTER 9.4 EXTENDED DETENTION BASINS. TRASH RACKS SHALL MEET THE FOLLOWING CRITERIA:
 - PARALLEL BARS SPACED AT 1-INCH INTERVALS, UP TO THE ELEVATION OF THE WATER QUALITY DESIGN STORM.
 - MINIMUM BAR SPACING: 1 INCH, FOR ELEVATIONS IN EXCESS OF THE WATER QUALITY DESIGN STORM.
 - MAXIMUM BAR SPACING: 1/3 THE DIAMETER OF THE ORIFICE OR 1/2 THE WIDTH OF HOLES, WITH A MAXIMUM SPACING OF 8 INCHES, FOR ELEVATIONS IN EXCESS OF THE WATER QUALITY DESIGN STORM.
 - MAXIMUM AVERAGE VELOCITY OF FLOW THROUGH CLEAN RACK: 2.5 FEET/SECOND, UNDER FULL RANGE OF STAGE AND DISCHARGE, COMPUTED ON THE BASIS OF THE NET AREA OF OPENING THROUGH RACK.
 - CONSTRUCTED OF RIGID, DURABLE AND CORROSION-RESISTANT MATERIAL, AND DESIGNED TO WITHSTAND A PERPENDICULAR LIVE LOADING OF 300 LBS./SF.

- NOTES:
- MATERIAL: GRAY CAST IRON, ASTM A48-83, CLASS 30B.
 - ASPHD H20-44 HIGHWAY LOADING.
 - SLOTTED OPENING TYPICALLY 1 1/2" x 4 7/16".
 - CASTING SUPPLIED WITHOUT SURFACE COATING.
 - MADE IN USA.

- NOTES:
- MATERIAL: GRAY CAST IRON, ASTM A48-83, CLASS 30B.
 - ASPHD H20-44 HIGHWAY LOADING.
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- NOTES:
- MATERIAL: GRAY CAST IRON, ASTM A48-83, CLASS 30B.
 - ASPHD H20-44 HIGHWAY LOADING.
 - SUPPLIED WITHOUT SURFACE COATING.
 - PATENT 2818.

- NOTES:
- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOM SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF 2" PER FOOT. THIS INLET MAY BE CONSTRUCTED OF BRICK, CONCRETE OR CONCRETE BLOCK. IF BRICK OR CONCRETE BLOCK IS USED THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF A 1:2 CEMENT SAND MORTAR.
 - FRAMES TO BE SET IN FULL BED OF MORTAR.

- NOTES:
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 - THIS INLET MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF A 1:2 CEMENT SAND MORTAR.
 - FRAMES TO BE SET IN FULL BED OF MORTAR.

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- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOM SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF 2" PER FOOT.
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 - FRAMES TO BE SET IN FULL BED OF MORTAR.

- NOTES:
- TWO SEPARATE COATS OF APPROVED BLACK BITUMASTIC WATERPROOFING COMPOUND OR EPOXY COATINGS APPLIED PER MANUFACTURER'S INSTRUCTIONS.
 - PIPE TO MANHOLE SEALS CONFORM TO ASTM C-283.
 - ALL MANHOLES SHALL BE CONSTRUCTED WATER TIGHT.
 - FRAME TO BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH BLOCK OR CURB RINGS NOT TO EXCEED 12" IN HEIGHT.
 - WH COVER TO INCLUDE FULL DEPTH RICK HOLES AND DROP LIFT HANDLE.

- NOTES:
- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOM SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF 2" PER FOOT.
 - THIS INLET MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF A 1:2 CEMENT SAND MORTAR.
 - FRAMES TO BE SET IN FULL BED OF MORTAR.

PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

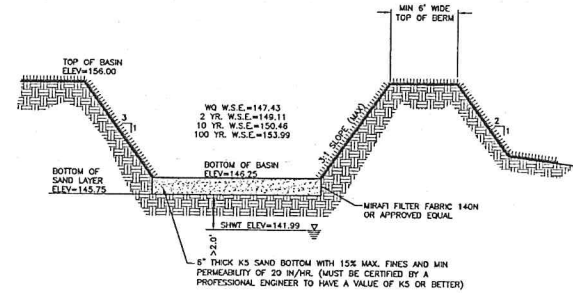
STORM SEWER DETAILS - SHEET A
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY SERVICES
CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 11, ROCKEFELLENVILLE, NEW JERSEY 08081
PHONE (609) 486-1100 FAX (609) 486-1101
WWW.PASERVICES.COM
DATE: 01/20/2010 SCALE: AS SHOWN FILE NO.: 2008-152 FILE NO.: 2008-152-003 DRAWN BY:

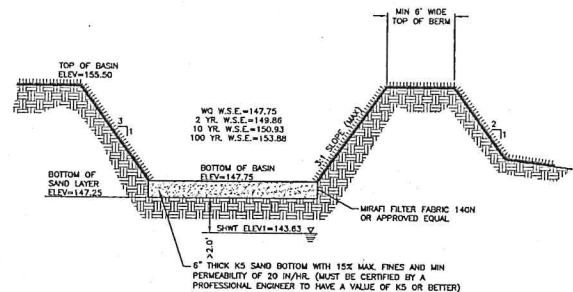


BASIN EXCAVATION/CONSTRUCTION NOTES:

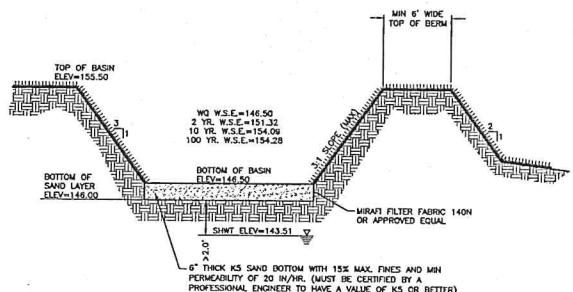
1. DURING THE EXCAVATION OF THE BASIN A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER MUST WITNESS AND CERTIFY THAT ALL EXCAVATION OPERATIONS WERE COMPLETED IN COMPLIANCE WITH THE PLANS.
2. A POST EXCAVATION PERCOLATION TEST MUST BE PERFORMED TO CONFIRM THE DESIGN INFILTRATION RATE OF K=4 (6-20 IN/HR) AND CERTIFIED BY A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER. SOIL BELOW THE BASIN MUST BE REPLACED AS DIRECTED BY A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER IF REQUIRED TO ACHIEVE THE DESIGN INFILTRATION RATE OF K=4 (6 TO 20 IN/HR).
3. IF ANY CLAY/SILT AND/OR RESTRICTIVE LAYERS ARE ENCOUNTERED DURING THE BASIN EXCAVATION OPERATION CES MUST BE NOTIFIED AT THE INITIAL TIME OF EXCAVATION OPERATION. AT THE DISCRETION OF A NJ LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER ALL CLAY/SILT AND RESTRICTIVE LAYERS ENCOUNTERED UNDER THE BASIN SHALL BE REMOVED AND REPLACED TO OBTAIN THE INFILTRATION DESIGN RATE (K=4, 6-20 IN/HR) AND COMPLIANCE WITH THE INTENT OF THE DESIGN TO DEMATER THE BASIN WITHIN 72 HOURS.
4. ALL CERTIFICATIONS FOR BASIN CONSTRUCTION/EXCAVATION AND POST EXCAVATION PERCOLATION TEST MUST BE SUBMITTED TO CES IMMEDIATELY AFTER INITIAL BASIN EXCAVATION IS COMPLETE.



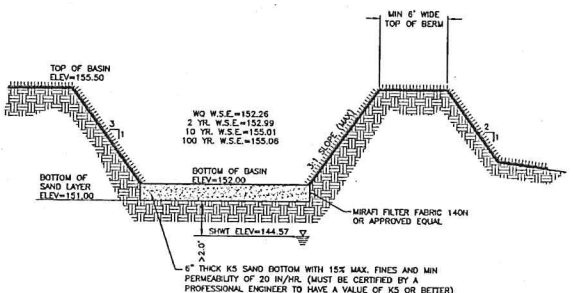
INFILTRATION BASIN A DETAIL
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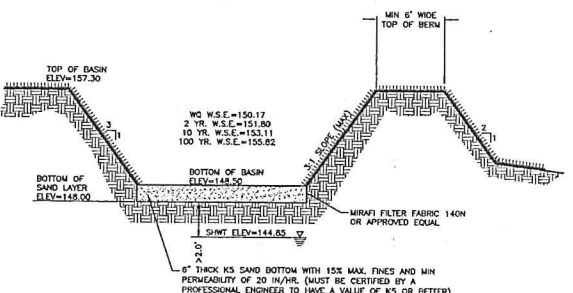
INFILTRATION BASIN A1 DETAIL
NTS



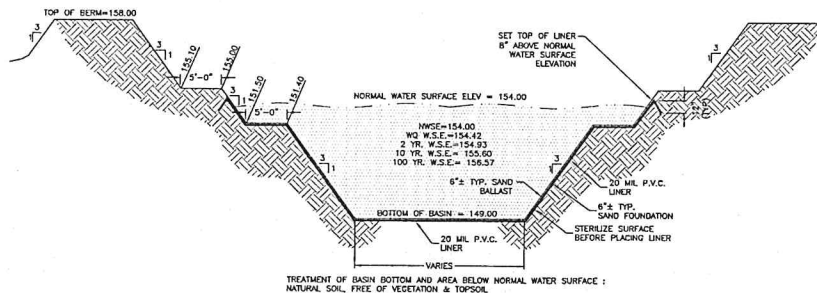
INFILTRATION BASIN A2 DETAIL
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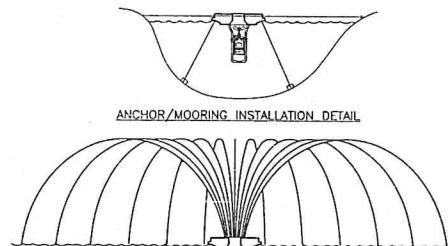
INFILTRATION BASIN A3 DETAIL
NTS



INFILTRATION BASIN B DETAIL
NTS



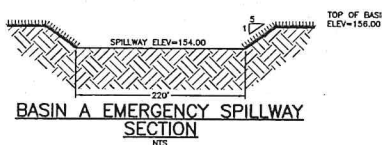
BASIN C CROSS SECTION DETAIL
NTS



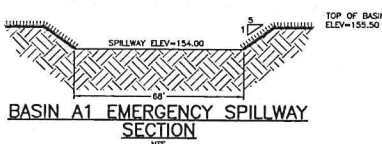
BASIN NO.	QUANTITY	MODEL	HP	VOLTAGE	PHASE	SIZE	SPRAY HEIGHT	SPRAY PATTERN	MAX. OPERATING DEPTH	PUMPING RATE (GPM)
1	1	300	3	230	1	60	10'	30'	30'	175

- NOTES:
 1. EACH BASIN TO BE PROVIDED WITH AN AERATING FOUNTAIN AS MANUFACTURED BY GOTTWINE BARRIS, INC., SUNBURST MODEL 200 (2 HP) OR MODEL 300 (3 HP). THE FLOATING AERATING FOUNTAIN SHALL BE ANCHORED TO THE BASIN BOTTOM PER THE MANUFACTURER'S SPECIFICATIONS. SEE SURFACE SPRAY DETAIL AND ANCHORING/MOORING DETAIL.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWINGS.
 4. REPORT ANY DISCREPANCIES TO OWNER PRIOR TO INSTALLATION.
 5. ALL ELECTRICAL INSTALLATION IS TO MEET LOCAL BUILDING CODES.
 6. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.projecttime.com REFERENCE NUMBER 377-003

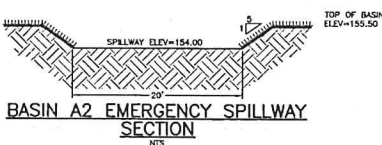
SUNBURST SURFACE SPRAY AERATOR
NTS



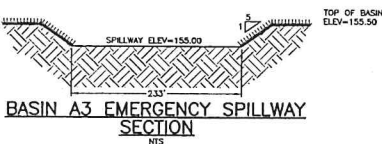
BASIN A EMERGENCY SPILLWAY SECTION
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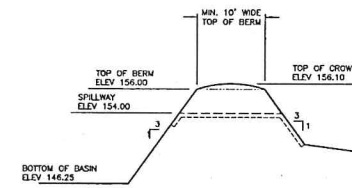
BASIN A1 EMERGENCY SPILLWAY SECTION
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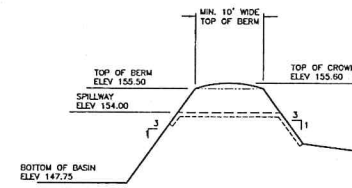
BASIN A2 EMERGENCY SPILLWAY SECTION
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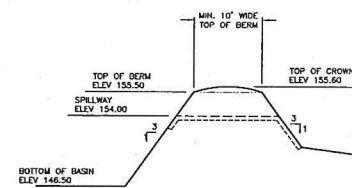
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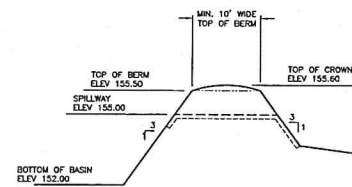
BASIN A BERM CROSS SECTION DETAIL
NTS



BASIN A1 BERM CROSS SECTION DETAIL
NTS



BASIN A2 BERM CROSS SECTION DETAIL
NTS



BASIN A3 BERM CROSS SECTION DETAIL
NTS

STORM SEWER DETAILS - SHEET B

THE GREENS

PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
 BERLIN-CROSS VETS ROAD, SUITE 11, SICKLEFVILLE, NEW JERSEY 08081
 PHONE (610) 438-2200 FAX (610) 438-2244
 E-MAIL: ces@cesnj.com ces@berlin-cross.com
 14, CERTIFICATE OF ACHIEVEMENT NO. 246E04749300



DATE: 04/20/10
 PAUL A. WITTHORN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

HP STORM TRENCH INSTALLATION DETAIL (ALTERNATE)

TABLE 1, RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
12" (300mm)	34" (864mm)
15" (375mm)	39" (991mm)
18" (450mm)	48" (1219mm)
24" (600mm)	56" (1422mm)
30" (750mm)	64" (1626mm)
36" (900mm)	72" (1829mm)
42" (1050mm)	80" (2032mm)
48" (1200mm)	96" (2438mm)
60" (1500mm)	120" (3048mm)

NOTES:

- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321, CLASS I/IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-1500mm).
- BACKFILL: FOR PIPES OUTSIDE OF PAVEMENT CLASS I MATERIAL TO BE USED FOR BACKFILL UP TO THE SPRINGLINE OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, CLASS I MATERIAL MUST BE COMPACTED IN 6" (200mm) LIFTS.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION.
- SELECT NATIVE CLEAN BACKFILL SHALL BE WELL PLACED, MODERATELY COMPACTED (85% SPD) CLASS IV OR BETTER PER ASTM D2321 WITH NO FOREIGN DEBRIS INCLUDING ROCKS, LARGE CLUMPS ORGANIC MATERIAL, OR FROZEN MATERIAL.
- HP STORM ALTERNATE TRENCH DETAIL ONLY APPLIES TO BACKFILL INSTALLATIONS IN NON-TRAFFIC APPLICATIONS PER TN 2.04A. ALTERNATE TRENCH USE MUST BE APPROVED BY DESIGN ENGINEER. DETAIL DOES NOT SUPERSEDE ADS STANDARD DETAIL STD-10B.

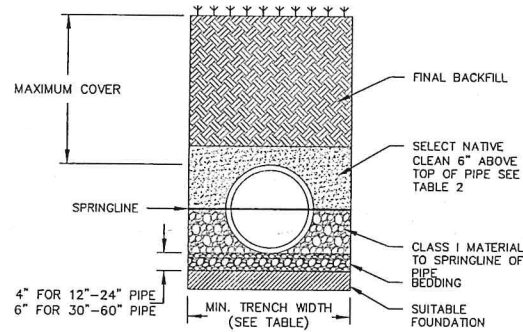


TABLE 2, MAXIMUM COVER FOR ADS HP STORM PIPE, ALTERNATE INSTALLATION, R (v=120)

PIPE DIAM.	CLASS II	CLASS III	CLASS IV
12" (300mm)	17 (5.2m)	14 (4.3m)	11 (3.4m)
15" (375mm)	17 (5.2m)	14 (4.3m)	10 (3.0m)
18" (450mm)	16 (4.9m)	13 (4.0m)	10 (3.0m)
24" (600mm)	14 (4.3m)	12 (3.7m)	9 (2.7m)
30" (750mm)	13 (4.0m)	12 (3.7m)	8 (2.4m)
36" (900mm)	11 (3.4m)	11 (3.4m)	7 (2.1m)
42" (1050mm)	11 (3.4m)	11 (3.4m)	7 (2.1m)
48" (1200mm)	11 (3.4m)	10 (3.0m)	6 (1.8m)
60" (1500mm)	11 (3.4m)	10 (3.0m)	6 (1.8m)

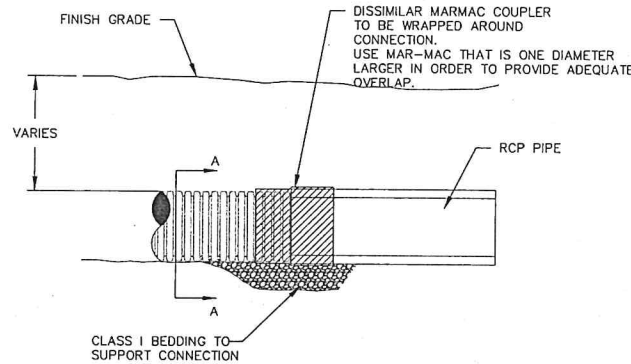
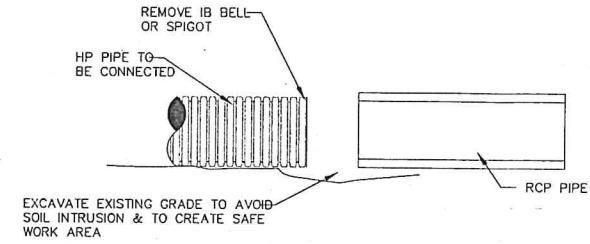
FILL HEIGHT TABLE GENERATED ASSUMING DRY CONDITIONS, OUTSIDE OF WATER TABLE. FOR INSTALLATION WITHIN THE WATER TABLE, CONTACT APPLICATIONS ENGINEERING.

REV.	DESCRIPTION	DATE	BY	CHK'D
7	REV. DRAWING NAME OR NUMBER	01/28/18		
	TRENCH INSTALLATION ALTERNATE DETAIL (HP STORM)			

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT, NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

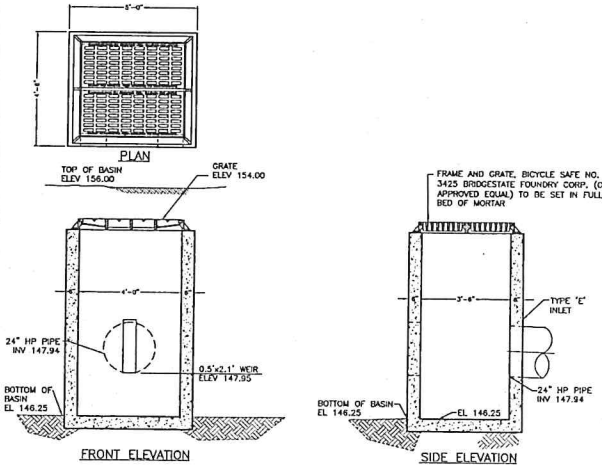
NOTES:

- CONNECTION AND PIPE TO BE BACKFILLED PER ASTM D2321, LATEST EDITION.
- AN INTERNAL CYLINDER MAY BE WELDED TO THE PIPE TO BE INSERTED INTO THE ID OF THE EXISTING PIPE AND MINIMIZE JOINT MOVEMENT. HOWEVER, AN INTERNAL CYLINDER IS NOT RECOMMENDED FOR DOWNSTREAM CONNECTIONS.



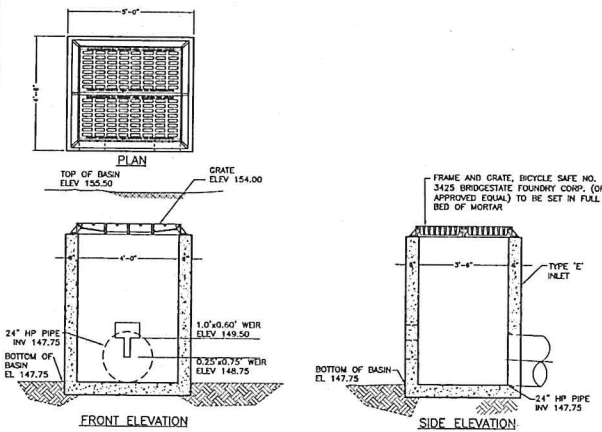
REV.	DESCRIPTION	DATE	BY	CHK'D
1	RENAMED AND RENUMBERED	02/19/18		
	HP STORM TO RCP CONNECTION (MARMAC)			

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT, NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.



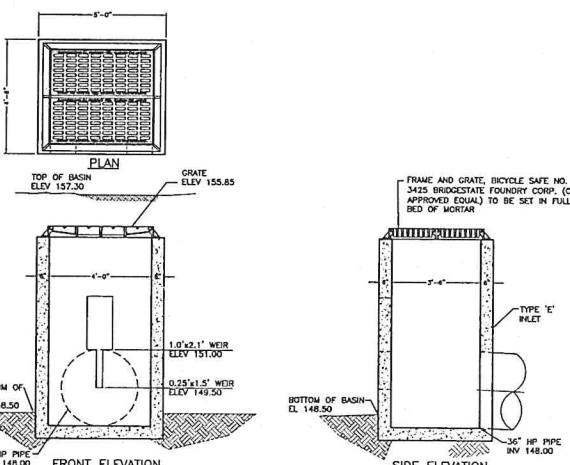
- NOTES:**
- STRUCTURE TO MEET THE REQUIREMENTS OF ASTM SPEC. C-913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
 - SEE GRADING & DRAINAGE PLAN FOR LOCATION.
 - GRATE SHALL BE ATTACHED TO OPS WITH SADDLE CLIPS AND CONCRETE ANCHOR BOLTS 12" OC.

PRECAST OUTFLOW STRUCTURE A DETAIL



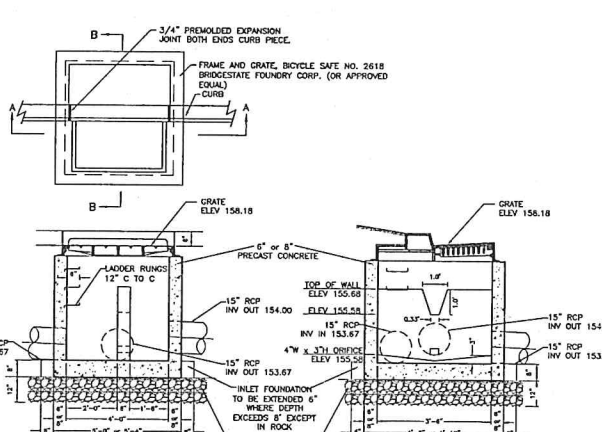
- NOTES:**
- STRUCTURE TO MEET THE REQUIREMENTS OF ASTM SPEC. C-913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
 - SEE GRADING & DRAINAGE PLAN FOR LOCATION.
 - GRATE SHALL BE ATTACHED TO OPS WITH SADDLE CLIPS AND CONCRETE ANCHOR BOLTS 12" OC.

PRECAST OUTFLOW STRUCTURE A1 DETAIL



- NOTES:**
- STRUCTURE TO MEET THE REQUIREMENTS OF ASTM SPEC. C-913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
 - SEE GRADING & DRAINAGE PLAN FOR LOCATION.
 - GRATE SHALL BE ATTACHED TO OPS WITH SADDLE CLIPS AND CONCRETE ANCHOR BOLTS 12" OC.

PRECAST OUTFLOW STRUCTURE B DETAIL



- NOTES:**
- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOM SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF 2" PER FOOT.
 - THIS INLET MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED THE BOTTOM SHALL BE, AS SHOWN FOR CONCRETE AND THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF A 1:2 CEMENT SAND MORTAR.
 - FRAMES TO BE SET IN FULL BED OF MORTAR.

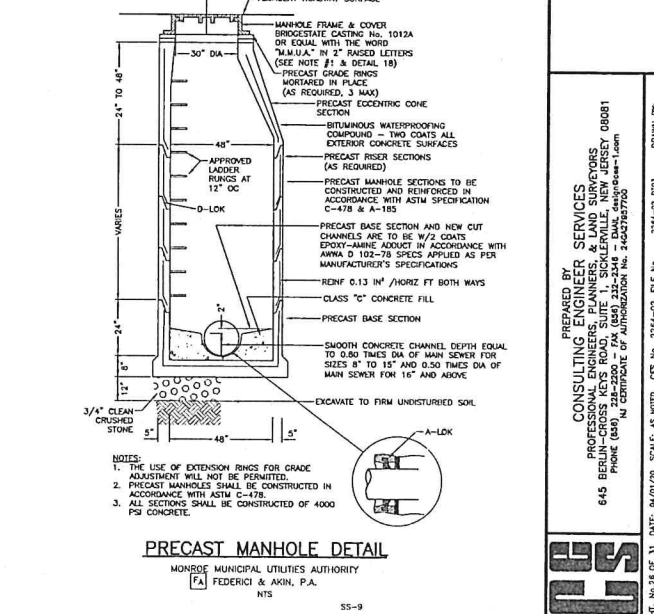
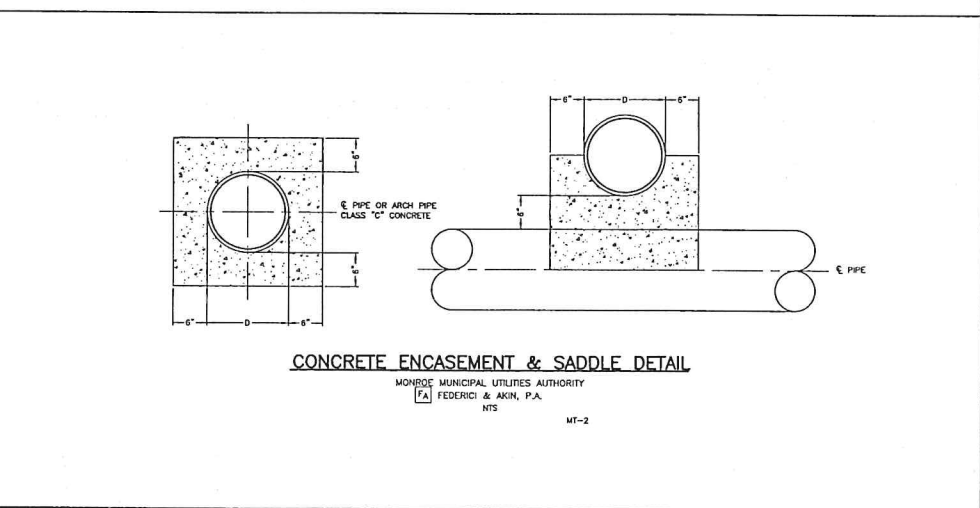
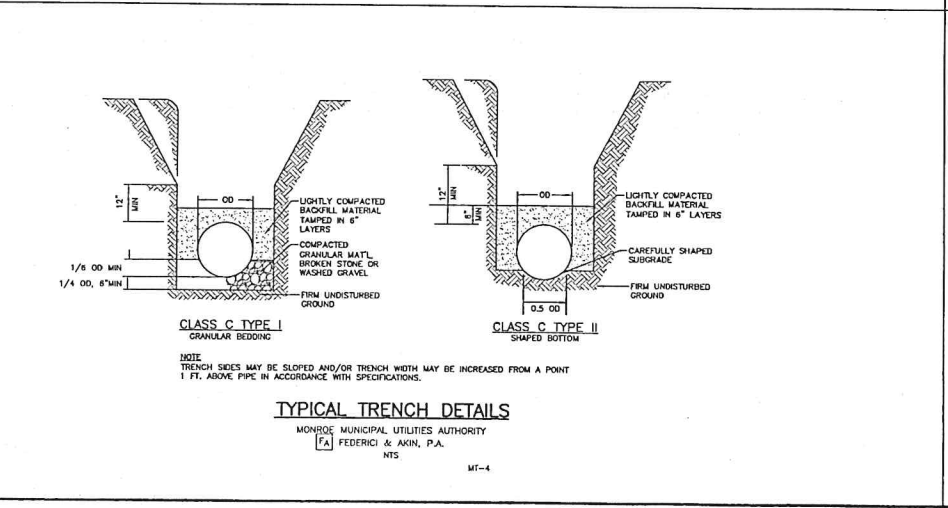
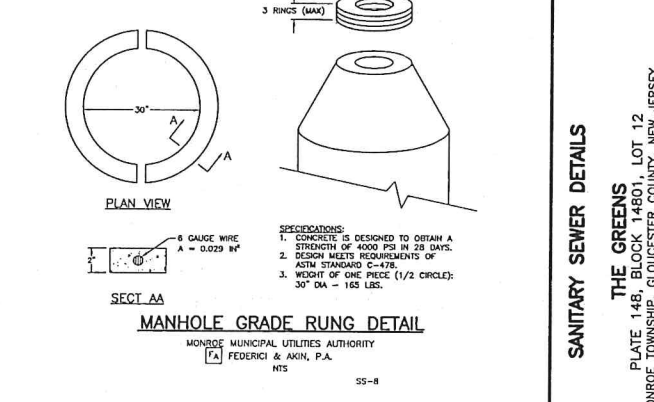
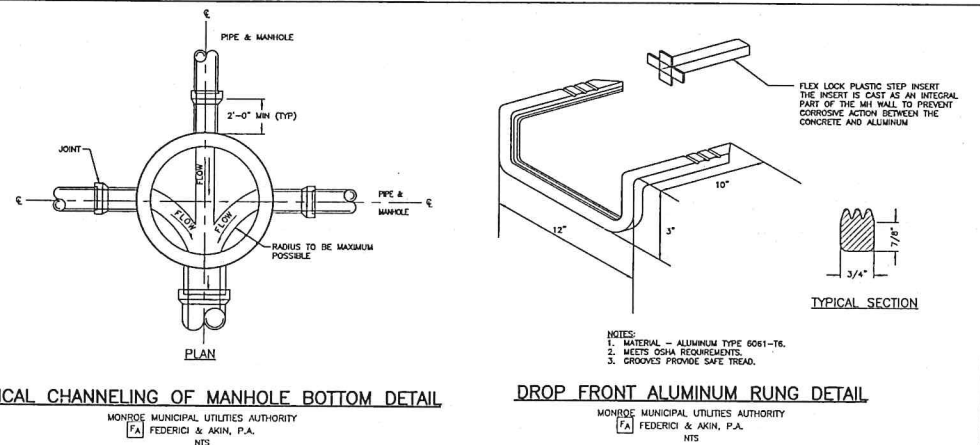
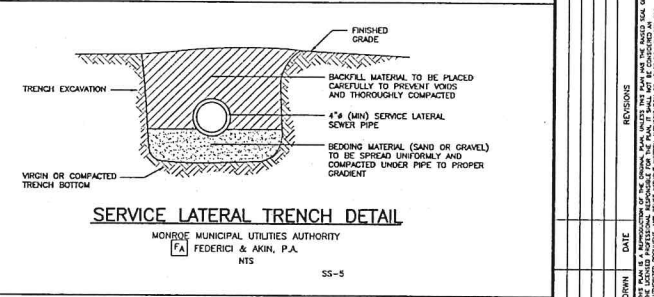
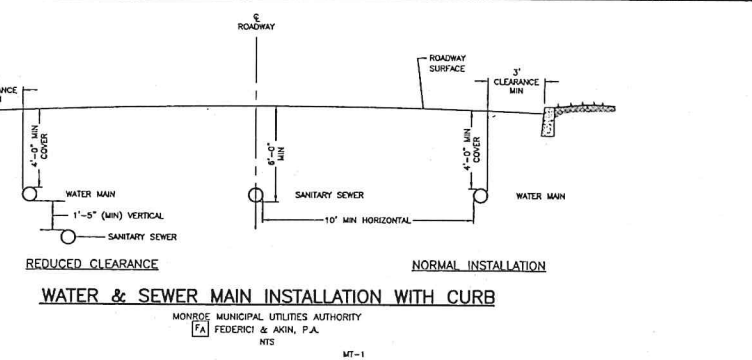
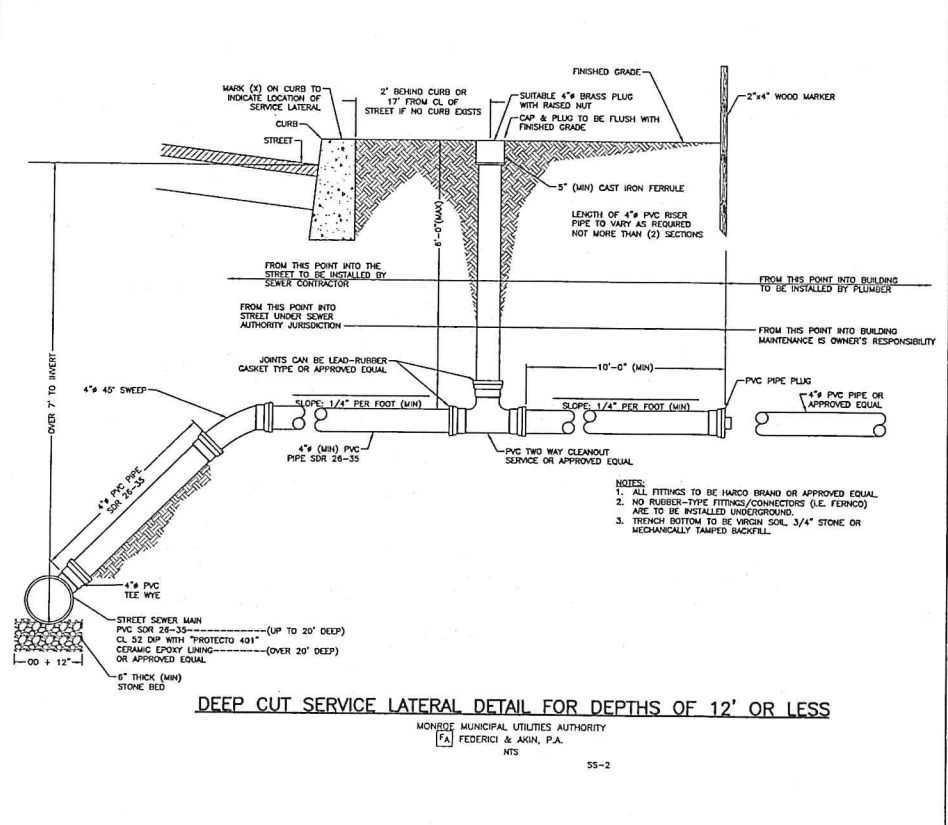
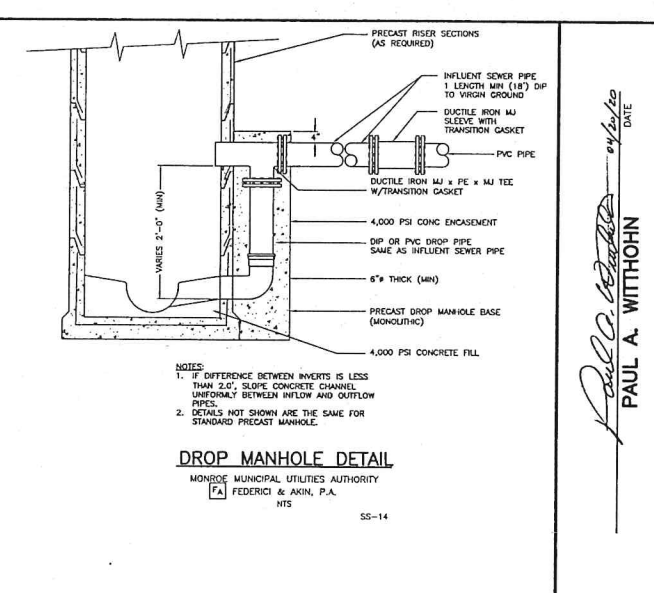
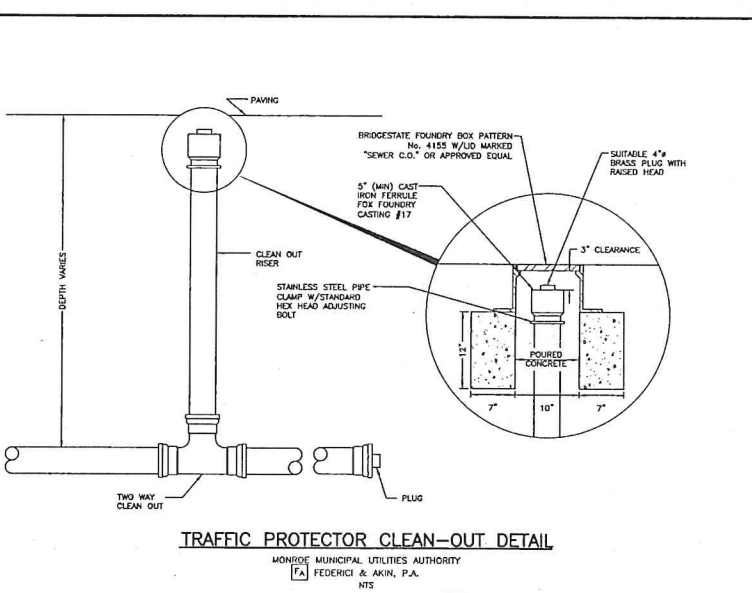
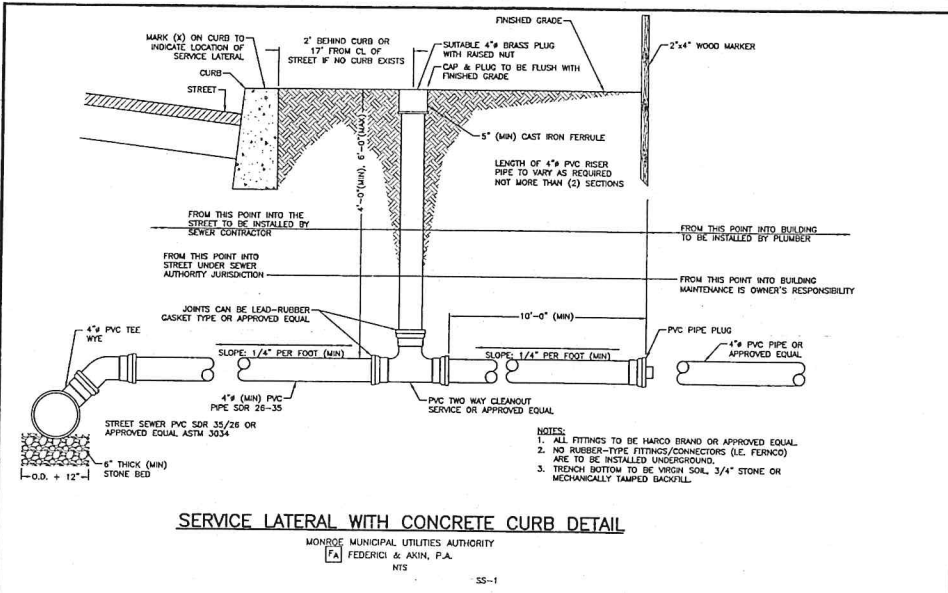
INLET B4 DETAIL

STORM SEWER DETAILS - SHEET C
THE GREENS
PLATE 1.43, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

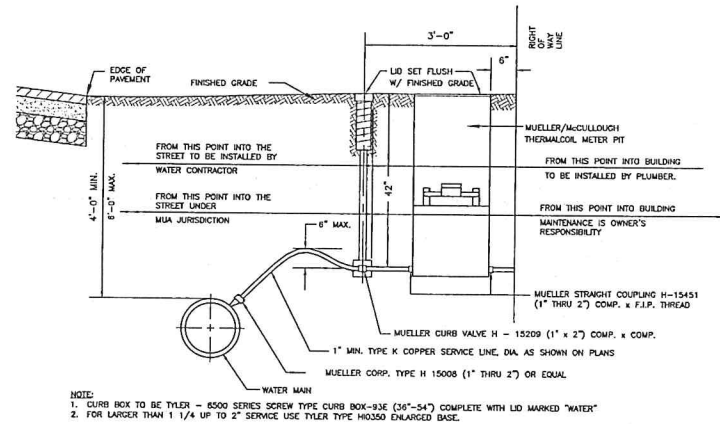
PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERKELEY AVE., SUITE 200, HILLSIDE, NJ 07033
PHONE (848) 232-2500 FAX (848) 232-2341 EMAIL info@cs-engineers.com
NJ CERTIFICATE OF AUTHORIZATION NO. 240439700



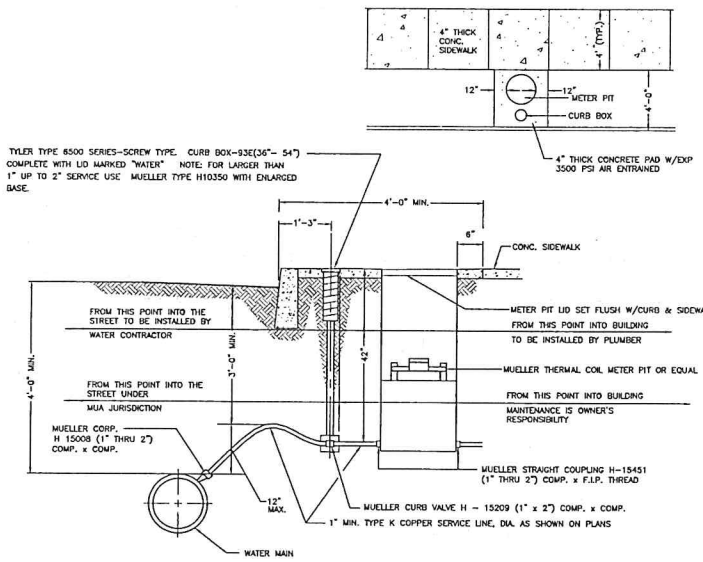
PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 248E04749300



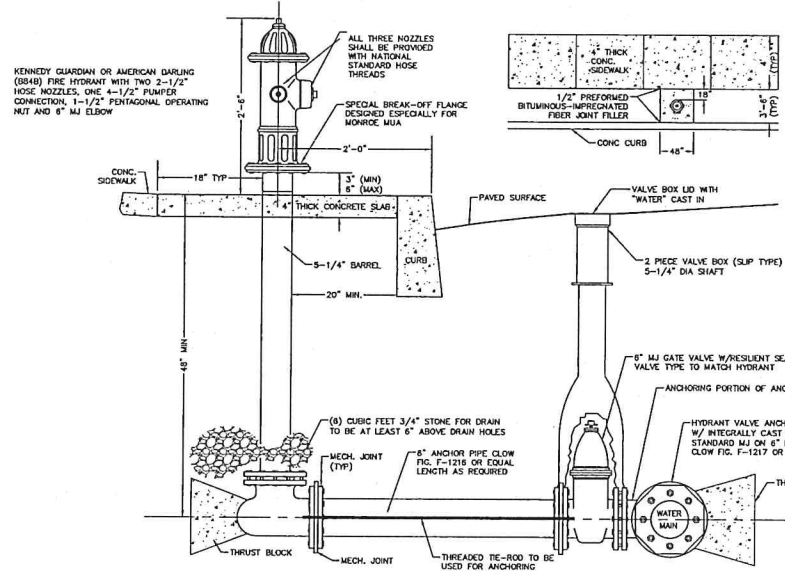
PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300
 THE GREENS
 PLATE 14B, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY
 SANITARY SEWER DETAILS
 PREPARED BY: CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS HETS ROAD, SUITE 11, SICKLEFILLE, NEW JERSEY 08061
 PHONE (609) 885-1200 FAX (609) 885-1202
 DATE: 3/10/05 SCALE: AS SHOWN CES No. 2442-02 FILE No. 3111-01-0101 DRAWN BY:



WATER SERVICE WITHOUT CURB DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 W-2

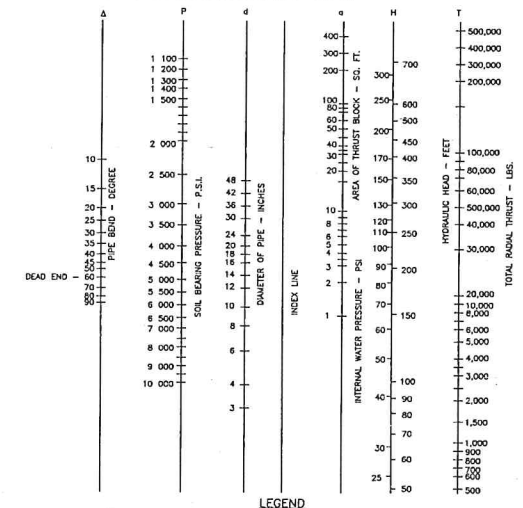


WATER SERVICE WITH CURB DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 W-1

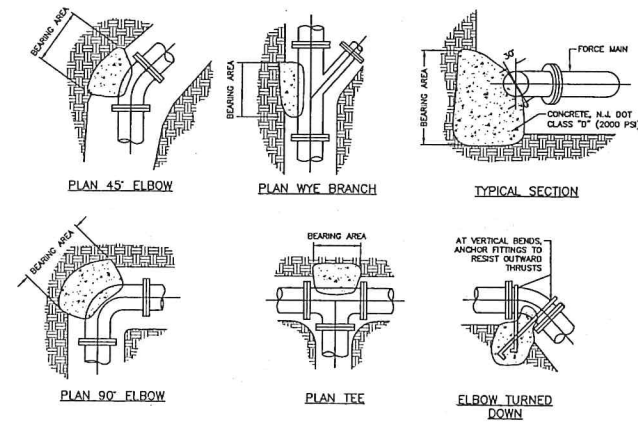


FIRE HYDRANT WITH CURB DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 W-4

STEPS:
 1. CONSTRUCT LINE FROM "DIAMETER OF PIPE" (d) TO "WATER PRESSURE/HYDRAULIC HEAD" (H) TO ESTABLISH POINT ON "INDEX LINE".
 2. CONSTRUCT LINE FROM "PIPE BEND" (a) THRU ESTABLISHED POINT ON "INDEX LINE" TO INTERSECT "TOTAL RADIAL THRUST" (T) LINE.
 3. CONSTRUCT LINE FROM POINT ON "TOTAL RADIAL THRUST" (T) LINE TO KNOWN POINT ON "SOIL BEARING PRESSURE" (P) LINE WHICH DETERMINES REQUIRED "AREA OF THRUST BLOCK" (A).
 EXAMPLE: GIVEN (A) 45° ELBOW (B) HYDRAULIC HEAD OF 125 FEET (C) SOIL BEARING PRESSURE OF 2,000 PSI (D) 4" - 1/2" INDEX POINT (E) LINE - INDEX POINT - T - (8,000 LBS.) (F) LINE T - P - d (4.50, 113) REQUIRED THRUST BLOCK BEARING AREA - 4.50. FT.



NOMOGRAPH DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 W-7



TYPICAL THRUST BLOCK DETAIL
 MONROE MUNICIPAL UTILITIES AUTHORITY
 FEDERICI & AKIN, P.A.
 NTS
 W-6

DATE: 01/14/10
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

NO.	DATE	REVISIONS

WATER DETAILS
 THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: SERVICES
 CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
 845 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1100 FAX (609) 426-1101
 WWW.FEDERICI.COM
 IN CERTIFICATE OF ADOPTION OF JUNE 2, 2009



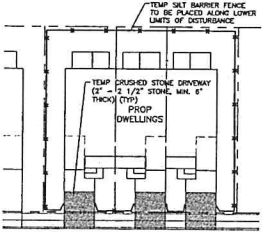
CONSTRUCTION SEQUENCE

- 1. MOBILIZATION 2 DAYS
 - 2. CONSTRUCT TEMPORARY SOIL EROSION & SEDIMENT CONTROL FACILITIES 4 DAYS
 - 3. SECTION 1
(AREA ALONG QUEENSFERRY DRIVE TO PRESTWICK LANE TO PANMURE WAY BACK TO QUEENSFERRY DRIVE)
 - 3A CLEAR AND GRUB SITE, ROUGH GRADING, & BASIN EXCAVATION OF BASINS A, B & C TO TWO (2) FEET ABOVE BASIN BOTTOMS 3 WEEKS
 - 3B BEGIN CONSTRUCTION OF STORM SEWER AND UTILITIES 2 WEEKS
 - 3C BEGIN CONSTRUCTION OF CURBING AND SIDEWALK 1 WEEK
 - 3D BEGIN CONSTRUCTION OF BASE COURSE FOR ROADWAYS 3 DAYS
 - 3E BEGIN CONSTRUCTION OF DWELLINGS AND PERMANENT SEEDING AS COMPLETED ON GOING
 - 3F CONSTRUCT AND MAINTAIN TEMPORARY COVER TO STABILIZE DISTURBED AREAS 2 DAYS
 - 3G COLLECT SILT & SEDIMENT AND PLACE ON SITE AS NEEDED
 - 3H ESTABLISH PERMANENT COVER AND LANDSCAPE 1 WEEK
 - 4. SECTION 2
(WEST ON BALANCE OF QUEENSFERRY DRIVE FROM SECTION 1)
 - 4A CLEAR AND GRUB SITE, ROUGH GRADING AND BASIN EXCAVATION OF BASINS 1A AND 2A TO 2 FEET ABOVE BASIN BOTTOMS 2 WEEKS
 - 4B BEGIN CONSTRUCTION OF STORM SEWER AND UTILITIES 2 WEEKS
 - 4C BEGIN CONSTRUCTION OF CURBING AND SIDEWALK 1 WEEK
 - 4D BEGIN CONSTRUCTION OF BASE COURSE FOR ROADWAYS 3 DAYS
 - 4E BEGIN CONSTRUCTION OF DWELLINGS AND PERMANENT SEEDING AS COMPLETED ON GOING
 - 4F CONSTRUCT AND MAINTAIN TEMPORARY COVER TO STABILIZE DISTURBED AREAS 2 DAYS
 - 4G COLLECT SILT & SEDIMENT AND PLACE ON SITE AS NEEDED
 - 4H ESTABLISH PERMANENT COVER AND LANDSCAPE 1 WEEK
 - 5. SECTION 3
(WEST ON BALANCE OF PRESTWICK LAND FROM SECTION 1)
 - 5A CLEAR AND GRUB SITE, ROUGH GRADING 2 WEEKS
 - 5B BEGIN CONSTRUCTION OF STORM SEWER AND UTILITIES 2 WEEKS
 - 5C BEGIN CONSTRUCTION OF CURBING AND SIDEWALK 1 WEEK
 - 5D BEGIN CONSTRUCTION OF BASE COURSE FOR ROADWAYS 3 DAYS
 - 5E BEGIN CONSTRUCTION OF DWELLINGS AND PERMANENT SEEDING AS COMPLETED ON GOING
 - 5F CONSTRUCT AND MAINTAIN TEMPORARY COVER TO STABILIZE DISTURBED AREAS 2 DAYS
 - 5G COLLECT SILT & SEDIMENT AND PLACE ON SITE AS NEEDED
 - 5H ESTABLISH PERMANENT COVER AND LANDSCAPE 1 WEEK
 - 5I FINAL BASIN EXCAVATION 5 DAYS
 - 7. REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES 2 DAYS
- TOTAL ESTIMATED TIME OF CONSTRUCTION 24 MONTHS ±

DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AvC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AvB	AURA-URBAN LAND COMPLEX	0-5%	B
WokA	WOODSTOWN-CLASSBORG COMPLEX	0-2%	B

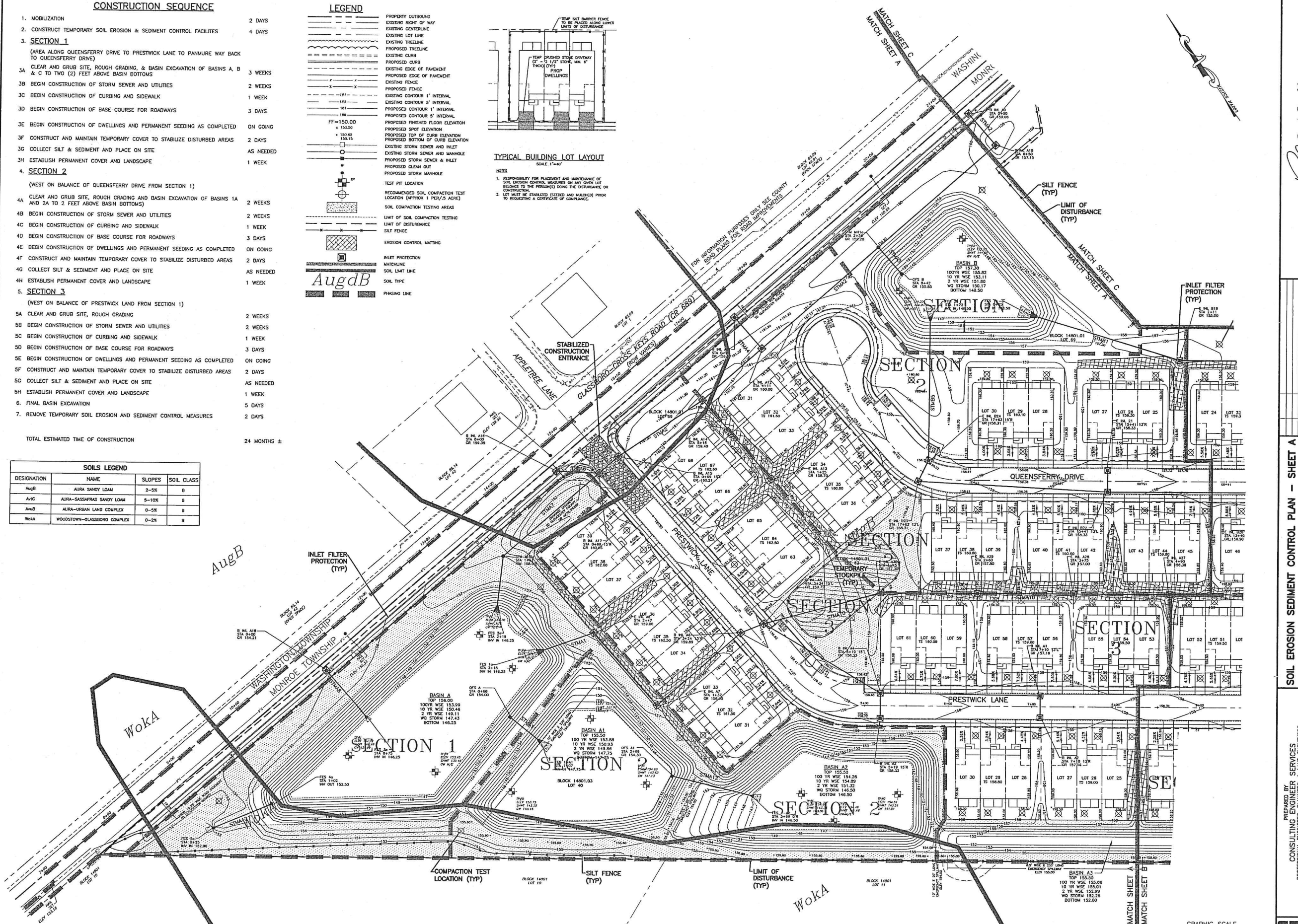
LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- EXISTING LOT LINE
- EXISTING TREETRACE
- PROPOSED TREETRACE
- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING CONTOUR 1' INTERVAL
- PROPOSED CONTOUR 1' INTERVAL
- EXISTING CONTOUR 5' INTERVAL
- PROPOSED CONTOUR 5' INTERVAL
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING STORM SEWER AND INLET
- PROPOSED STORM SEWER & INLET
- PROPOSED CLEAN OUT
- PROPOSED STORM MANHOLE
- TEST PIT LOCATION
- RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX 1 PER 1/2 ACRE)
- SOIL COMPACTION TESTING AREAS
- LIMIT OF SOIL COMPACTION TESTING
- LIMIT OF DISTURBANCE
- SILT FENCE
- EROSION CONTROL MATTING
- INLET PROTECTION MATCHLINE
- SOIL LIMIT LINE
- SOIL TYPE
- PHASING LINE



TYPICAL BUILDING LOT LAYOUT SCALE 1"=40'

- 1. RESPONSIBILITY FOR PLACEMENT AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES ON ANY OPEN LOT BELONGS TO THE PERSON(S) DOING THE DISTURBANCE OR CONSTRUCTION.
- 2. LOT MUST BE STABILIZED (SEEDED AND MULCHED) PRIOR TO REQUESTING A CERTIFICATE OF COMPLIANCE.



GRAPHIC SCALE
0 40' 80' 120'
SCALE: 1" = 40'

Paul A. Witthohn
PAUL A. WITTHOHN
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 246E04749300

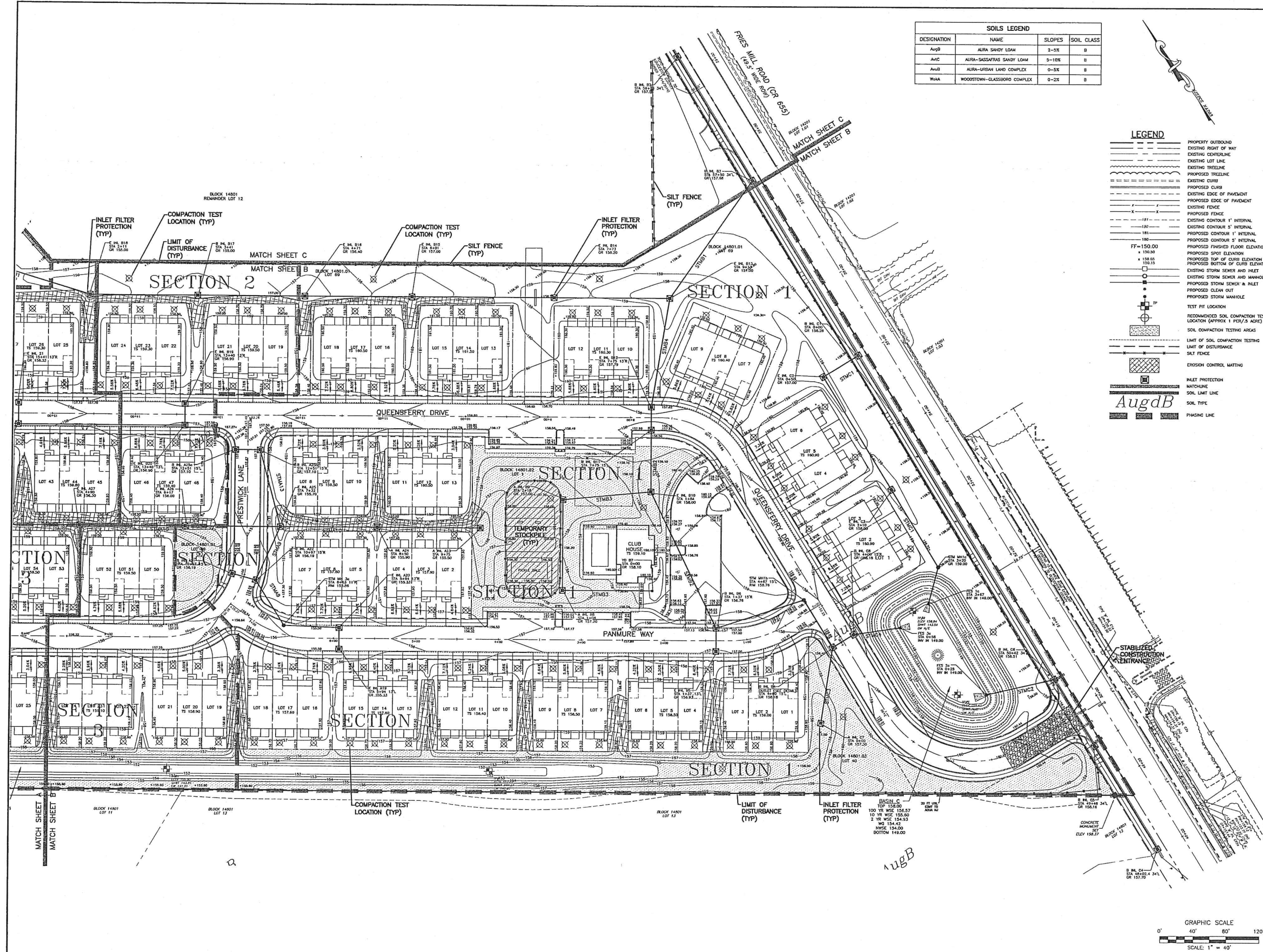
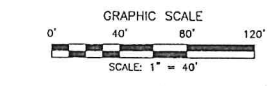
SOIL EROSION SEDIMENT CONTROL PLAN - SHEET A
THE GREENS
PLATE 148, BLOCK 14801, LOT 12
MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 11, SICKLEVILLE, NEW JERSEY 08081
PHONE (908) 563-5000 FAX (908) 563-5001
WWW.CES-PA.COM
A CERTIFICATE OF ATTACHMENT No. 2-423797700

SOILS LEGEND			
DESIGNATION	NAME	SLOPES	SOIL CLASS
AugB	AURA SANDY LOAM	2-5%	B
AvC	AURA-SASSAFRAS SANDY LOAM	5-10%	B
AvB	AURA-UREAN LAND COMPLEX	0-5%	B
W6A	WOODSTOWN-CLASSBORO COMPLEX	0-2%	B

LEGEND	
	PROPERTY OUTBOUND
	EXISTING RIGHT OF WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING TREELINE
	EXISTING CURBS
	PROPOSED CURBS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING CONTOUR 1' INTERVAL
	EXISTING CONTOUR 5' INTERVAL
	PROPOSED CONTOUR 1' INTERVAL
	PROPOSED CONTOUR 5' INTERVAL
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURBS ELEVATION
	PROPOSED BOTTOM OF CURBS ELEVATION
	EXISTING STORM SEWER AND INLET
	EXISTING STORM SEWER AND MANHOLE
	PROPOSED STORM SEWER AND INLET
	PROPOSED STORM MANHOLE
	TEST PIT LOCATION
	RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX 1 PER 1/2 ACRE)
	SOIL COMPACTION TESTING AREAS
	LIMIT OF SOIL COMPACTION TESTING
	LIMIT OF DISTURBANCE
	SILT FENCE
	EROSION CONTROL MATTING
	INLET PROTECTION
	MATCHLINE
	SOIL LIMIT LINE
	SOIL TYPE
	PHASING LINE

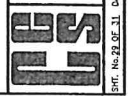
AugdB



SOIL EROSION SEDIMENT CONTROL PLAN - SHEET B

THE GREENS
 PLATE 14B, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY: SERVICES
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS VIEWS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08061
 PHONE (609) 426-1100 FAX (609) 426-1101
 A CERTIFICATE OF AUTHORIZATION NO. 24007837700



DATE: 06/23/20
 PAUL A. WITTHOHN
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24604749300

Project: 2014-0244-02-0201-046_SCT_SPTB_0410200 101137.A46_00000001.11

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-01. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-02. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-03. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-04. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-05. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-06. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-07. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-08. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-09. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-10. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-11. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-12. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-13. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-14. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-15. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-16. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-17. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

TEST PIT LOG. PROJECT NAME: Proposed 224th Street & 3rd Avenue. TEST PIT # 224-0242-18. LOCATION: 224th Street, Gloucester Co., NJ. SOIL DESCRIPTION: 0.0' - 0.5' Topsoil (T1)...

PREPARED BY: CONSULTING SERVICES PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS, INC. 645 ROUTE 100, SUITE 200, FREEHOLD, NJ 08001 PHONE: (848) 333-2299 FAX: (848) 333-2244 MAIL: info@cs-engineers.com



TEST PIT LOGS THE GREENS PLATE 148, BLOCK 14801, LOT 12 MONROE TOWNSHIP, GLoucester COUNTY, NEW JERSEY

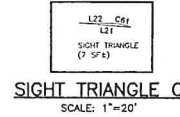
REVISIONS table with columns for NO., DATE, and DESCRIPTION.

PAUL A. WITTHORN PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04749300

DATE: 04/20/20

SITE DATA

1. THE PROPERTY IN QUESTION IS KNOWN AS LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLoucester COUNTY, NEW JERSEY.
2. OWNER/APPLICANT: N.W.D. DEVELOPMENT
701 COOPER STREET, SUITE 7
VOORHEES, NEW JERSEY
856-348-4400
3. PROPERTY IN QUESTION CONTAINS: 28.264 AC (1,231,193 SF)
4. PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL
5. PRESENT LAND USE: VACANT
6. PROPOSED PROJECT LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (39-THRIFLEX BUILDINGS) ON 31.31 ACRES, NEIGHBORHOOD COMMERCIAL ON 7.67 AC
7. OUTBOUND IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY & TOPOGRAPHY, THE GREENS SUBDIVISION, PLATE 148, BLOCK 14801, LOT 12 PREPARED BY CONSULTING ENGINEER SERVICES, DATED 3/31/2020.
8. HORIZONTAL DATUM SHOWN HEREON IS NAD83/CS NAD83, BASED UPON GPS OBSERVATIONS.
9. BLK REQUIREMENTS FOR SINGLE-FAMILY ATTACHED:



DESCRIPTION	REQUIRE	PROPOSED	Y
MINIMUM TRACT AREA	20 AC	31.31 AC	
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	
MINIMUM LOT AREA	2,000 SF	2,000 SF+	
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR)	X
MINIMUM LOT DEPTH	100 FT	110 FT	X
MINIMUM LOT WIDTH	20 FT	30 FT	
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (DID UNITS)	25 FT	25 FT BETWEEN BLDGS	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	
MINIMUM WALL TO ROW OR PAVEMENT	12 FT	12 FT	
MINIMUM BLDG WALL TO PERMETER LOT LINE	50 FT	50 FT	
MAXIMUM LOT COVERAGE	75%	75%	
MAXIMUM BLDG HEIGHT	35 FT	35 FT	
BUFFER	50 FT	50 FT	

MONROE TOWNSHIP PLANNING BOARD APPROVAL:
THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE: _____ PLANNING BOARD CHAIRPERSON
PRINT NAME: _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____ I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE: _____ PLANNING BOARD SECRETARY
PRINT NAME: _____

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C.40:550-1 ET SEQ.) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY.

DATE: _____ MUNICIPAL CLERK
PRINT NAME: _____

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: _____ MUNICIPAL ENGINEER
PRINT NAME: _____

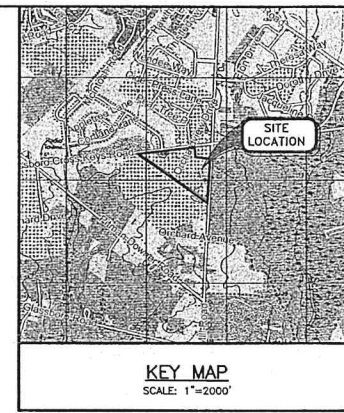
GLoucester COUNTY APPROVAL:
APPROVED SUBDIVISION:
DATE: _____ GLoucester COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION.
FILE NO. _____

OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

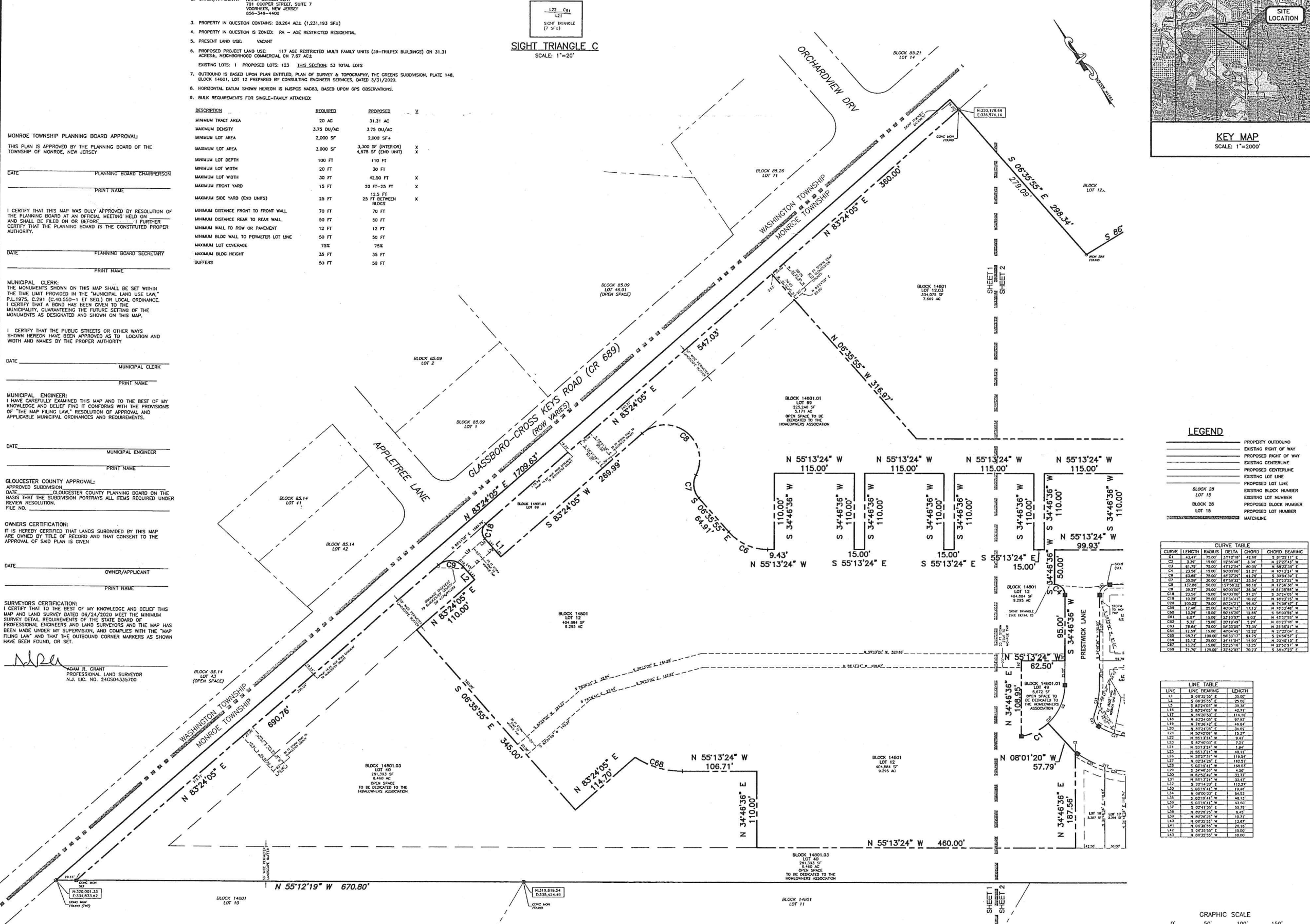
DATE: _____ OWNER/APPLICANT
PRINT NAME: _____

SURVEYORS CERTIFICATION:
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 08/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 246504335700



ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504335700



LEGEND

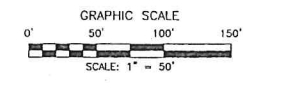
- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- MATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	43.17'	75.00'	37.1218°	43.88'	S 31.2111° E
C2	3.30'	13.00'	17.0644°	3.30'	S 22.523° E
C3	61.79'	75.00'	47.1254°	60.00'	S 68.223° E
C4	23.50'	13.00'	60.0000°	23.50'	S 02.1211° E
C5	63.89'	75.00'	49.3729°	61.74'	S 20.242° E
C6	35.50'	50.00'	67.5632°	33.54'	S 27.2121° E
C7	127.88'	50.00'	157.5822°	98.18'	S 12.242° W
C8	39.17'	75.00'	60.0000°	39.18'	S 31.2111° W
C9	22.50'	15.00'	60.0000°	22.50'	S 31.2111° W
C10	100.25'	75.00'	60.2411°	98.82'	S 25.242° E
C11	17.88'	75.00'	60.2411°	17.73'	S 25.242° E
C12	12.29'	13.00'	60.0000°	12.29'	S 30.000° W
C13	8.47'	15.00'	62.0520°	8.43'	S 32.252° W
C14	9.70'	15.00'	62.0520°	9.70'	S 30.000° W
C15	79.64'	75.00'	58.3300°	77.20'	S 25.242° E
C16	13.50'	15.00'	62.0520°	13.50'	S 25.242° E
C17	38.71'	100.00'	56.3117°	34.73'	S 25.242° E
C18	15.12'	25.00'	32.4130°	14.99'	S 20.453° E
C19	13.72'	15.00'	62.2518°	13.25'	S 27.2121° W
C20	21.20'	125.00'	52.2070°	20.17'	S 34.2721° E

LINE TABLE

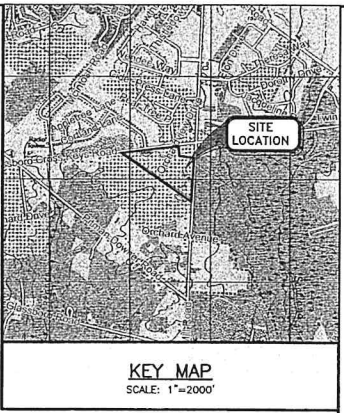
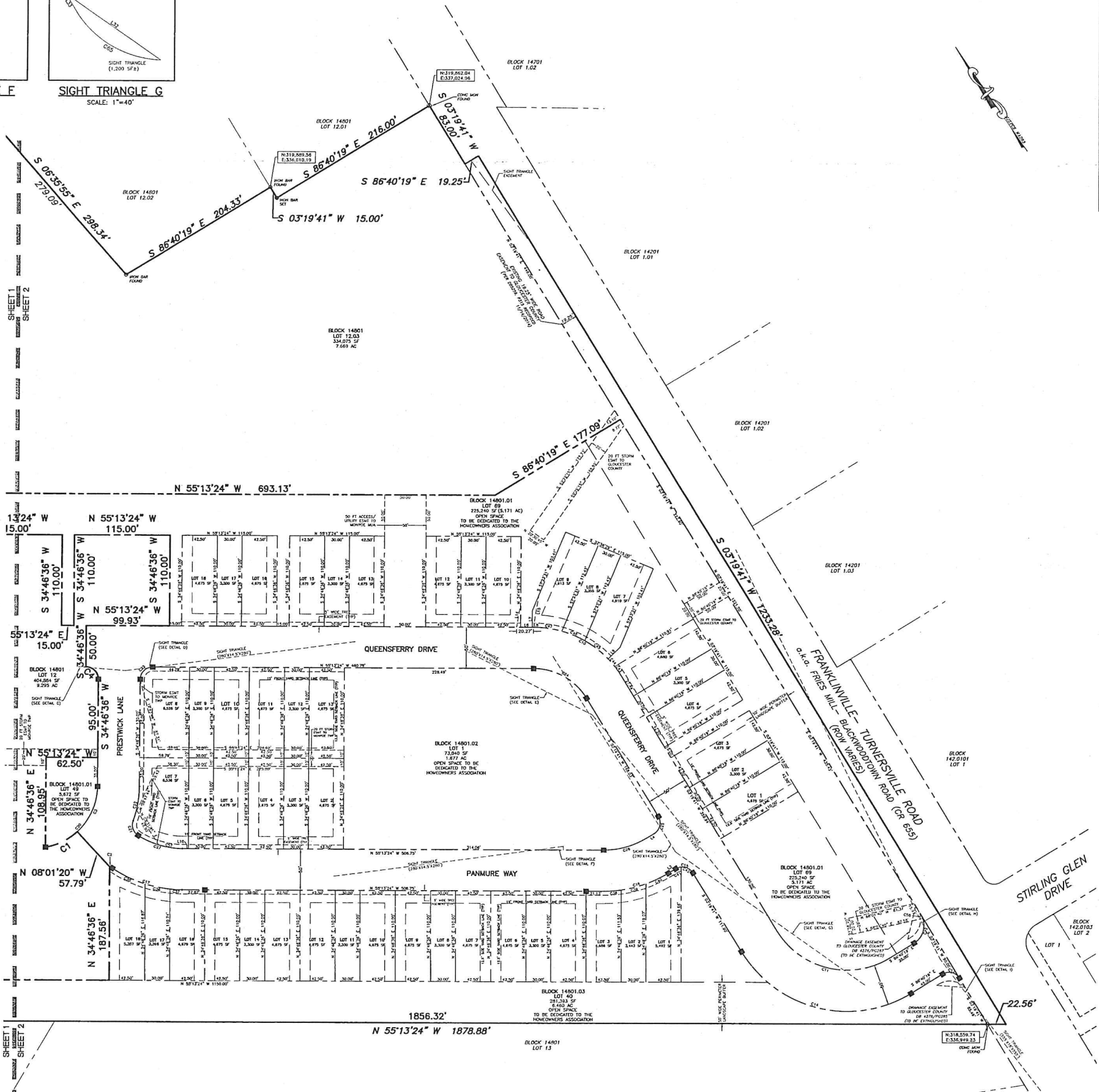
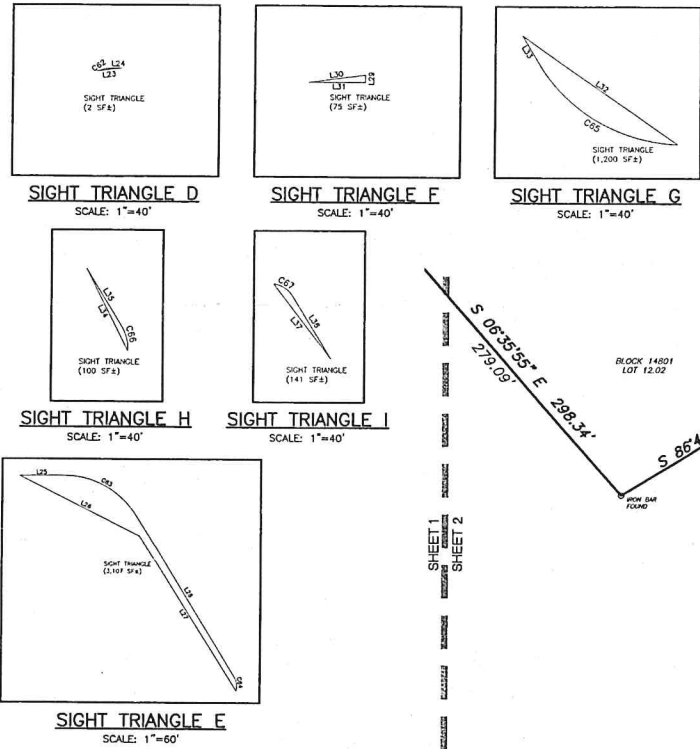
LINE	BEARING	LENGTH
L1	S 09.232° E	25.00'
L2	S 09.232° E	25.00'
L3	S 87.245° W	20.20'
L4	S 87.245° W	42.21'
L5	S 87.245° W	114.16'
L6	S 87.245° W	114.16'
L7	S 87.245° W	20.20'
L8	S 87.245° W	20.20'
L9	S 87.245° W	46.54'
L10	S 87.245° W	20.20'
L11	S 87.245° W	13.21'
L12	S 87.245° W	8.41'
L13	S 87.245° W	13.21'
L14	S 87.245° W	1.84'
L15	S 87.245° W	1.84'
L16	S 87.245° W	119.24'
L17	S 87.245° W	115.11'
L18	S 87.245° W	1.84'
L19	S 87.245° W	1.84'
L20	S 87.245° W	1.84'
L21	S 87.245° W	1.84'
L22	S 87.245° W	1.84'
L23	S 87.245° W	1.84'
L24	S 87.245° W	1.84'
L25	S 87.245° W	1.84'
L26	S 87.245° W	1.84'
L27	S 87.245° W	1.84'
L28	S 87.245° W	1.84'
L29	S 87.245° W	1.84'
L30	S 87.245° W	1.84'
L31	S 87.245° W	1.84'
L32	S 87.245° W	1.84'
L33	S 87.245° W	1.84'
L34	S 87.245° W	1.84'
L35	S 87.245° W	1.84'
L36	S 87.245° W	1.84'
L37	S 87.245° W	1.84'
L38	S 87.245° W	1.84'
L39	S 87.245° W	1.84'
L40	S 87.245° W	1.84'
L41	S 87.245° W	1.84'
L42	S 87.245° W	1.84'
L43	S 87.245° W	1.84'



FINAL PLAN OF LOTS
THE GREENS - SECTION 1
ORIGINAL TRACT: PLATE 148, BLOCK 14801, LOT 12
TOWNSHIP OF MONROE, GLoucester COUNTY, NEW JERSEY

PREPARED BY:
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEER
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SHOCKERVILLE, NEW JERSEY 08081
PHONE (609) 239-2800 FAX (609) 235-2448 WWW.CES-INC.COM
DATE: 08/24/2020 SCALE: 1"=50' CES INC. FILE NO.: 2020-02-001 DRAWN BY: JTL





DATE: 6/16/2022
 ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504335700

MONROE TOWNSHIP PLANNING BOARD APPROVAL:
 THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE: _____ PLANNING BOARD CHAIRPERSON
 PRINT NAME: _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____ I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE: _____ PLANNING BOARD SECRETARY
 PRINT NAME: _____

MUNICIPAL CLERK:
 THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C.40:550-1 ET SEQ.) OR LOCAL ORDINANCE. I CERTIFY THAT A ROAD HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY

DATE: _____ MUNICIPAL CLERK
 PRINT NAME: _____

MUNICIPAL ENGINEER:
 I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: _____ MUNICIPAL ENGINEER
 PRINT NAME: _____

GLoucester COUNTY APPROVAL:
 APPROVED SUBDIVISION
 DATE: _____ GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION FILE NO. _____

OWNERS CERTIFICATION:
 IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

DATE: _____ OWNER/APPLICANT
 PRINT NAME: _____

SURVEYORS CERTIFICATION:
 I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 05/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

DATE: _____ ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR
 N.J. LIC. NO. 246504335700

LEGEND

- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BLOCK NUMBER
- PROPOSED BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED LOT NUMBER
- PROPOSED BLOCK NUMBER
- PROPOSED LOT NUMBER
- MATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	43.47	15.00	112.22	43.47	S 87.07° 11' E
C2	3.38	15.00	11.25	3.38	N 77.77° 43' W
C3	81.29	15.00	127.61	81.29	N 86.95° 02' E
C4	23.56	15.00	30.50	23.56	N 102.74° 24' W
C5	132.00	15.00	167.27	132.00	N 20.54° 02' E
C6	35.38	15.00	47.50	35.38	S 72.12° 22' W
C7	110.00	15.00	132.70	110.00	N 12.74° 44' E
C8	26.27	15.00	30.50	26.27	N 51.75° 50' W
C9	22.26	15.00	29.50	22.26	N 28.23° 09' W
C10	10.32	15.00	12.24	10.32	N 18.11° 45' W
C11	109.25	15.00	142.71	109.25	N 78.64° 27' E
C12	1.46	15.00	1.46	1.46	N 39.34° 48' W
C13	13.29	15.00	16.46	13.29	N 58.00° 24' W
C14	6.07	15.00	7.41	6.07	N 42.24° 24' W
C15	9.24	15.00	11.48	9.24	N 87.73° 38' E
C16	12.09	15.00	14.94	12.09	N 22.72° 04' E
C17	16.71	15.00	20.71	16.71	N 52.94° 17' E
C18	15.13	15.00	18.11	15.13	N 20.52° 12' E
C19	13.27	15.00	16.46	13.27	N 62.42° 24' E
C20	11.20	15.00	13.72	11.20	N 58.42° 22' E

LINE TABLE

LINE	BEARING	LENGTH
L1	S 09°25'00" E	29.00
L2	S 07°30'59" E	25.00
L3	N 82°14'00" E	30.00
L4	S 82°14'00" W	43.71
L5	N 82°26'52" E	114.18
L6	N 82°24'00" E	81.47
L7	N 76°28'52" E	46.84
L8	N 82°24'00" E	26.87
L9	N 50°42'00" W	15.37
L10	N 87°18'11" E	8.41
L11	S 67°49'04" E	7.31
L12	N 87°18'11" E	1.84
L13	N 50°12'24" W	40.11
L14	N 87°18'11" E	119.54
L15	N 02°34'58" E	182.81
L16	N 02°34'58" E	189.87
L17	S 34°18'56" W	4.50
L18	N 87°18'11" E	33.77
L19	N 87°18'11" E	119.54
L20	N 02°34'58" E	24.52
L21	S 02°18'11" W	18.46
L22	S 02°18'11" W	43.89
L23	S 02°18'11" W	35.79
L24	N 87°18'11" E	8.41
L25	N 02°34'58" E	15.87
L26	N 02°34'58" E	20.11
L27	S 02°34'58" W	15.00
L28	N 02°34'58" W	19.00

FINAL PLAN OF LOTS
THE GREENS - SECTION 1
 ORIGINAL TRACT: PLATE 14B, BLOCK 14801, LOT 12
 TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

REVISED PER SERVICES
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEVILLE, NEW JERSEY 08081
 PHONE (609) 426-1200 FAX (609) 426-1000
 NJ CERTIFICATE OF AUTHORIZATION NO. 240278700

DATE: 6/16/2022
 SCALE: 1" = 50'

P:\proj\2024\05\44\44_0501_01\44_0501_01_123.PLA, DWG, L1

SITE DATA

- THE PROPERTY IN QUESTION IS KNOWN AS LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
- OWNER/APPLICANT: N.W.D. DEVELOPMENT
701 COOPER STREET, SUITE 7
WOODBRIDGE, NEW JERSEY
856-344-4400
- PROPERTY IN QUESTION CONTAINS: 9.825 AC ± (404,884 ± SF)
- PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL
- PRESENT LAND USE: VACANT
- PROPOSED PROJECT LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (39-TRIUMPH BUILDINGS) ON 31.31 AC ±, NEIGHBORHOOD COMMERCIAL ON 7.47 AC ±
- EXISTING LOTS: 1 PROPOSED LOTS: 133 THIS SECTION: 31 TOTAL LOTS
- OUTBOUND IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY & TOPOGRAPHY, THE GREENS SUBDIVISION, PLATE 148, BLOCK 14801, LOT 12 PREPARED BY CONSULTING ENGINEER SERVICES, DATED 3/31/2020.
- HORIZONTAL DATUM SHOWN HEREON IS NAD83, BASED UPON GPS OBSERVATIONS.
- BULK REQUIREMENTS FOR SINGLE-FAMILY ATTACHED:

DESCRIPTION	REQUIRE	PROPOSER	Y
MINIMUM TRACT AREA	20 AC	31.31 AC	X
MAXIMUM DENSITY	3.75 DU/AC	3.75 DU/AC	X
MINIMUM LOT AREA	2,000 SF	2,000 SF+	X
MAXIMUM LOT AREA	3,000 SF	3,300 SF (INTERIOR)	X
MINIMUM LOT DEPTH	100 FT	110 FT	X
MINIMUM LOT WIDTH	20 FT	30 FT	X
MAXIMUM LOT WIDTH	30 FT	42.50 FT	X
MAXIMUM FRONT YARD	15 FT	20 FT-25 FT	X
MAXIMUM SIDE YARD (END UNITS)	25 FT	12.5 FT BETWEEN BLDGS	X
MINIMUM DISTANCE FRONT TO FRONT WALL	70 FT	70 FT	X
MINIMUM DISTANCE REAR TO REAR WALL	50 FT	50 FT	X
MINIMUM WALL TO ROW OR PAVEMENT	12 FT	12 FT	X
MINIMUM BLDG WALL TO PERMETER LOT LINE	50 FT	50 FT	X
MAXIMUM LOT COVERAGE	75%	75%	X
MAXIMUM BLDG HEIGHT	35 FT	35 FT	X
BUFFERS	50 FT	50 FT	X

MONROE TOWNSHIP PLANNING BOARD APPROVAL:

THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE: _____ PLANNING BOARD CHAIRPERSON

PRINT NAME: _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____. I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE: _____ PLANNING BOARD SECRETARY

PRINT NAME: _____

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C-40:55-1 - ET SEQ) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY.

DATE: _____ MUNICIPAL CLERK

PRINT NAME: _____

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE: _____ MUNICIPAL ENGINEER

PRINT NAME: _____

GLOUCESTER COUNTY APPROVAL:
APPROVED SUBMISSION
DATE: _____ GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBMISSION PORTRAYS ALL ITEMS REQUIRED UNDER RESOLUTION FILE NO. _____

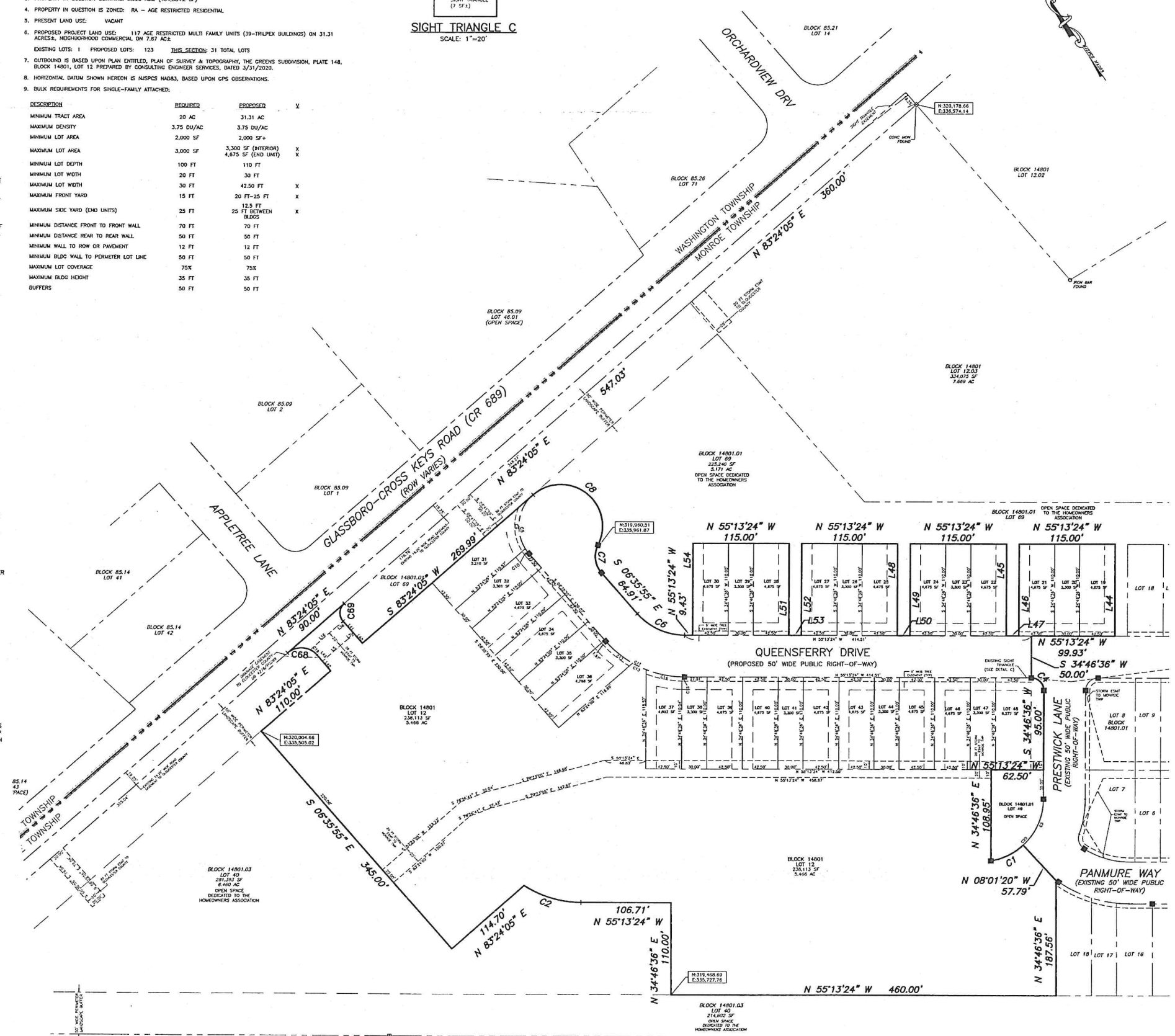
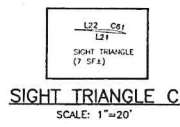
OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

DATE: _____ OWNER/APPLICANT

PRINT NAME: _____

SURVEYORS CERTIFICATION:
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 05/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 24650-435700



LEGEND

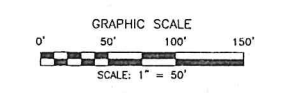
PROPERTY OUTBOUND	EXISTING RIGHT OF WAY
PROPOSED RIGHT OF WAY	EXISTING CENTERLINE
PROPOSED CENTERLINE	EXISTING LOT LINE
PROPOSED LOT LINE	EXISTING BLOCK NUMBER
EXISTING BLOCK NUMBER	EXISTING LOT NUMBER
EXISTING LOT NUMBER	PROPOSED BLOCK NUMBER
PROPOSED BLOCK NUMBER	PROPOSED LOT NUMBER
PROPOSED LOT NUMBER	MATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	44.47	25.00	137.18°	42.85	S 81°25'11" E
C2	71.20	134.00	248.04°	70.22	S 38°12'34" E
C3	81.70	25.00	471.20°	80.05	N 58°22'28" E
C4	31.64	18.00	90.00°	31.21	N 12°32'4" W
C5	78.54	30.00	90.00°	70.71	S 38°21'30" W
C6	81.85	25.00	148.74°	81.78	S 20°34'0" W
C7	39.34	30.00	47.58°	34.54	S 77°31'22" W
C8	135.88	30.00	272.38°	134.85	N 77°38'28" E
C9	311.07	50.00	112.22°	292.15	N 42°42'54" E
C10	7.23	50.00	87.17°	7.24	S 20°32'00" E
C11	108.00	125.00	46.72°	102.84	S 26°15'4" E
C12	41.80	125.00	189.61°	41.80	S 100°11'4" E
C13	11.81	125.00	41.10°	11.81	S 26°15'4" E
C14	43.27	125.00	189.61°	43.27	S 100°11'4" E
C15	3.00	125.00	132.11°	3.00	N 67°18'1" E
C16	10.24	25.00	232.41°	10.24	N 18°21'51" W
C17	109.22	25.00	132.11°	109.22	N 51°30'30" W
C18	8.07	15.00	132.11°	8.07	N 42°37'58" W
C19	39.22	25.00	102.90°	39.26	N 51°30'30" W
C20	33.64	18.00	180.00°	31.21	S 38°21'30" W

LINE TABLE

LINE	LINE BEARING	LENGTH
L1	S 87°24'00" W	39.00
L18	S 84°24'00" W	42.71
L21	S 40°24'00" W	18.37
L22	N 30°13'24" W	8.41
L23	N 32°24'00" W	12.50
L24	N 36°24'00" W	16.58
L25	N 30°24'00" W	12.50
L26	N 26°24'00" W	10.00
L27	S 24°48'00" W	10.00
L28	S 24°48'00" W	10.00
L29	S 24°48'00" W	10.00
L30	S 24°48'00" W	10.00
L31	S 24°48'00" W	10.00
L32	S 24°48'00" W	10.00
L33	S 24°48'00" W	10.00
L34	S 24°48'00" W	10.00

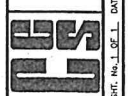


DATE: 05/24/2020
ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 24650-435700

NO.	DATE	REVISIONS

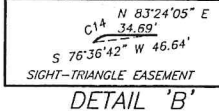
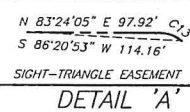
FINAL PLAN OF LOTS
THE GREENS - SECTION 2
ORIGINAL TRACT: PLATE 148, BLOCK 14801, LOT 12
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

DESIGNED BY: ADAM R. GRANT
CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NEW JERSEY 08081
PHONE: (609) 782-2222 FAX: (609) 782-2223
E-MAIL: AGRANT@AESERVICES.COM
JULY 2020
DATE: 05/24/2020 SCALE: 1" = 50'



SITE DATA

- THE PROPERTY IN QUESTION IS KNOWN AS A PORTION OF LOT 12, BLOCK 14801, AS SHOWN ON PLATE 148 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY.
- OWNER/APPLICANT: N.M.D. DEVELOPMENT
701 COOPER STREET, SUITE 7
WOODBURN, NEW JERSEY
088-346-4400
- PROPERTY IN QUESTION CONTAINS 5.466 AC± (238,113± SF)
- PROPERTY IN QUESTION IS ZONED: RA - AGE RESTRICTED RESIDENTIAL
- PRESENT LAND USE: VACANT
- PROPOSED PROJECT LAND USE: 117 AGE RESTRICTED MULTI FAMILY UNITS (38-TRIPLEX BUILDINGS) ON 31.31 AC±±, RESIDENTIAL COMMERCIAL ON 7.87 AC±
- EXISTING LOTS: 1 PROPOSED LOTS: 123 THIS SECTION: 40 LOTS
- OUTBOUND IS BASED UPON PLAN ENTITLED, PLAN OF SURVEY & TOPOGRAPHY, THE GREENS SUBDIVISION, PLATE 148, BLOCK 14801, LOT 12 PREPARED BY CONSULTING ENGINEER SERVICES, DATED 3/31/2020.
- HORIZONTAL DATUM SHOWN HEREON IS NAD83, BASED UPON GPS OBSERVATIONS.
- BULK REQUIREMENTS FOR SINGLE-FAMILY ATTACHED:



MONROE TOWNSHIP PLANNING BOARD APPROVAL:
THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONROE, NEW JERSEY

DATE _____ PLANNING BOARD CHAIRPERSON
PRINT NAME _____

I CERTIFY THAT THIS MAP WAS DULY APPROVED BY RESOLUTION OF THE PLANNING BOARD AT AN OFFICIAL MEETING HELD ON _____ AND SHALL BE FILED ON OR BEFORE _____ I FURTHER CERTIFY THAT THE PLANNING BOARD IS THE CONSTITUTED PROPER AUTHORITY.

DATE _____ PLANNING BOARD SECRETARY
PRINT NAME _____

MUNICIPAL CLERK:
THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE MUNICIPAL LAND USE LAW, P.L. 1975, C.291 (C-40-550-1 ET SEQ.) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY THAT THE PUBLIC STREETS OR OTHER WAYS SHOWN HEREON HAVE BEEN APPROVED AS TO LOCATION AND WIDTH AND NAMES BY THE PROPER AUTHORITY.

DATE _____ MUNICIPAL CLERK
PRINT NAME _____

MUNICIPAL ENGINEER:
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

DATE _____ MUNICIPAL ENGINEER
PRINT NAME _____

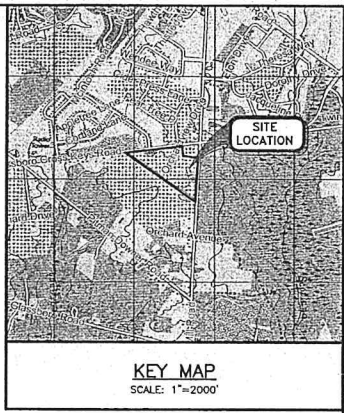
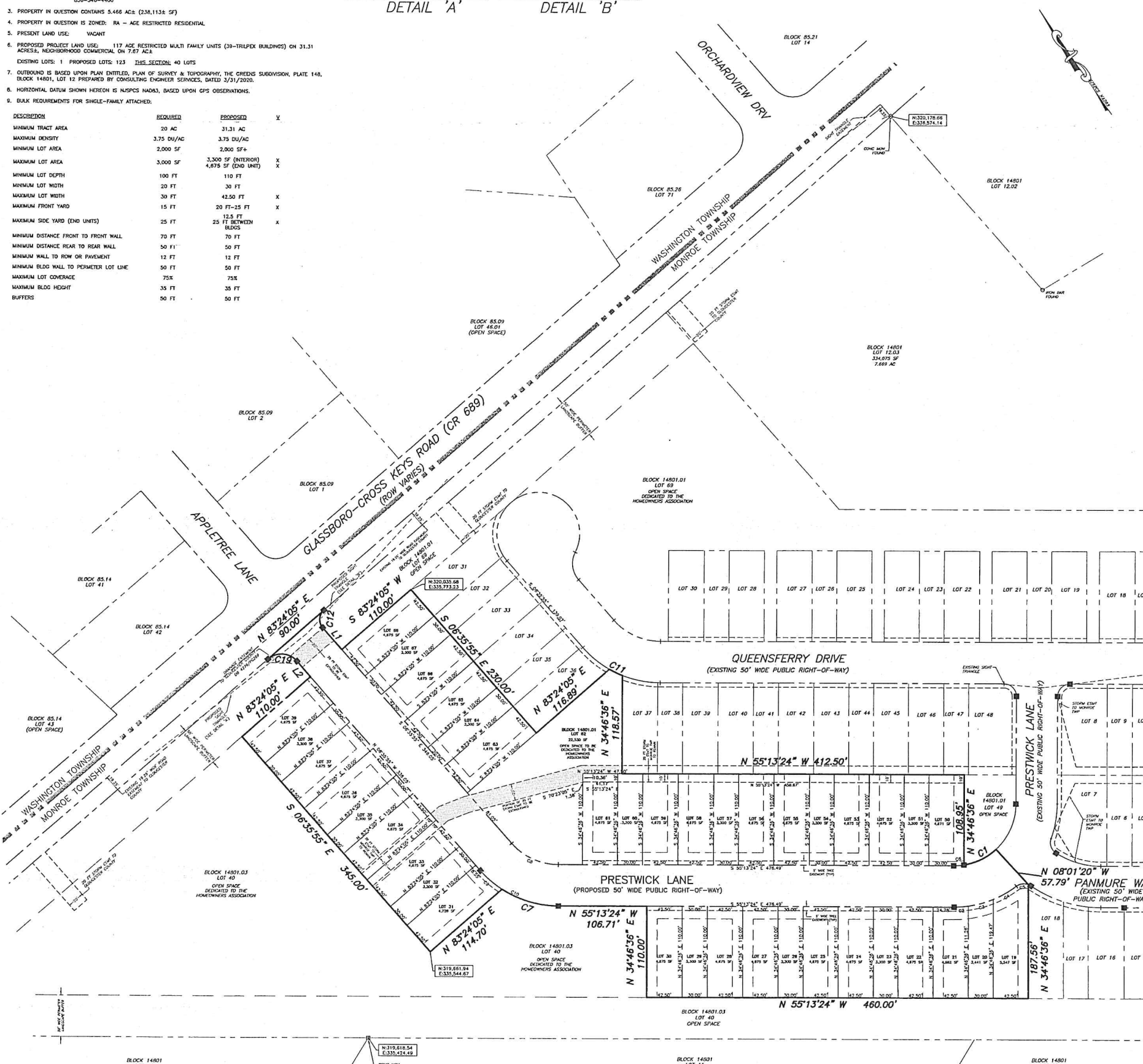
GLOUCESTER COUNTY APPROVAL:
APPROVED SUBDIVISION:
DATE _____ GLOUCESTER COUNTY PLANNING BOARD ON THE BASIS THAT THE SUBDIVISION PORTRAYS ALL ITEMS REQUIRED UNDER REVIEW RESOLUTION, FILE NO. _____

OWNERS CERTIFICATION:
IT IS HEREBY CERTIFIED THAT LANDS SUBDIVIDED BY THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN

DATE _____ OWNER/APPLICANT
PRINT NAME _____

SURVEYORS CERTIFICATION:
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 06/24/2020 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 246504335700



LEGEND

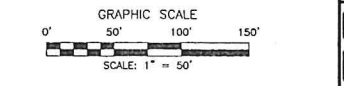
- PROPERTY OUTBOUND
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- PROPOSED BLOCK NUMBER
- PROPOSED LOT NUMBER
- WATCHLINE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	43.47	35.00	37°22'18"	22.80	S 81°29'11" E
C2	17.88	35.00	8°09'55"	7.77	S 84°22'56" E
C3	31.18	120.00	14°17'53"	31.05	S 70°11'16" E
C4	56.24	120.00	24°47'27"	52.22	S 85°04'46" E
C5	15.25	15.00	104°32'29"	14.44	S 81°32'48" E
C6	12.56	35.00	9°30'39"	12.54	S 80°01'12" E
C7	12.50	125.00	5°39'00"	12.50	S 81°32'48" E
C8	53.65	35.00	48°37'29"	41.50	S 30°24'30" E
C9	108.00	120.00	48°27'29"	102.83	S 30°24'30" E
C10	112.83	120.00	49°14'11"	112.83	S 30°24'30" E
C11	23.52	15.00	102°00'00"	21.21	S 81°32'48" E
C12	13.48	35.00	4°02'11"	13.48	S 78°34'48" E
C13	13.29	15.00	20°24'20"	12.84	S 58°00'00" E
C14	10.42	25.00	23°25'41"	10.32	S 17°31'15" W

LINE TABLE

LINE	LINE BEARING	LENGTH
L1	S 08°35'25" E	30.00'
L2	S 07°30'54" E	25.00'



FINAL PLAN OF LOTS

THE GREENS - SECTION 3
ORIGINAL TRACT: PLATE 148, BLOCK 14801, LOT 12
TOWNSHIP OF MONROE, GLOUCESTER COUNTY, NEW JERSEY

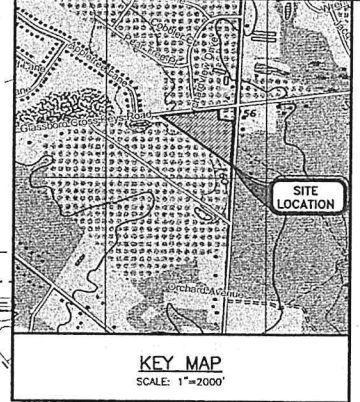
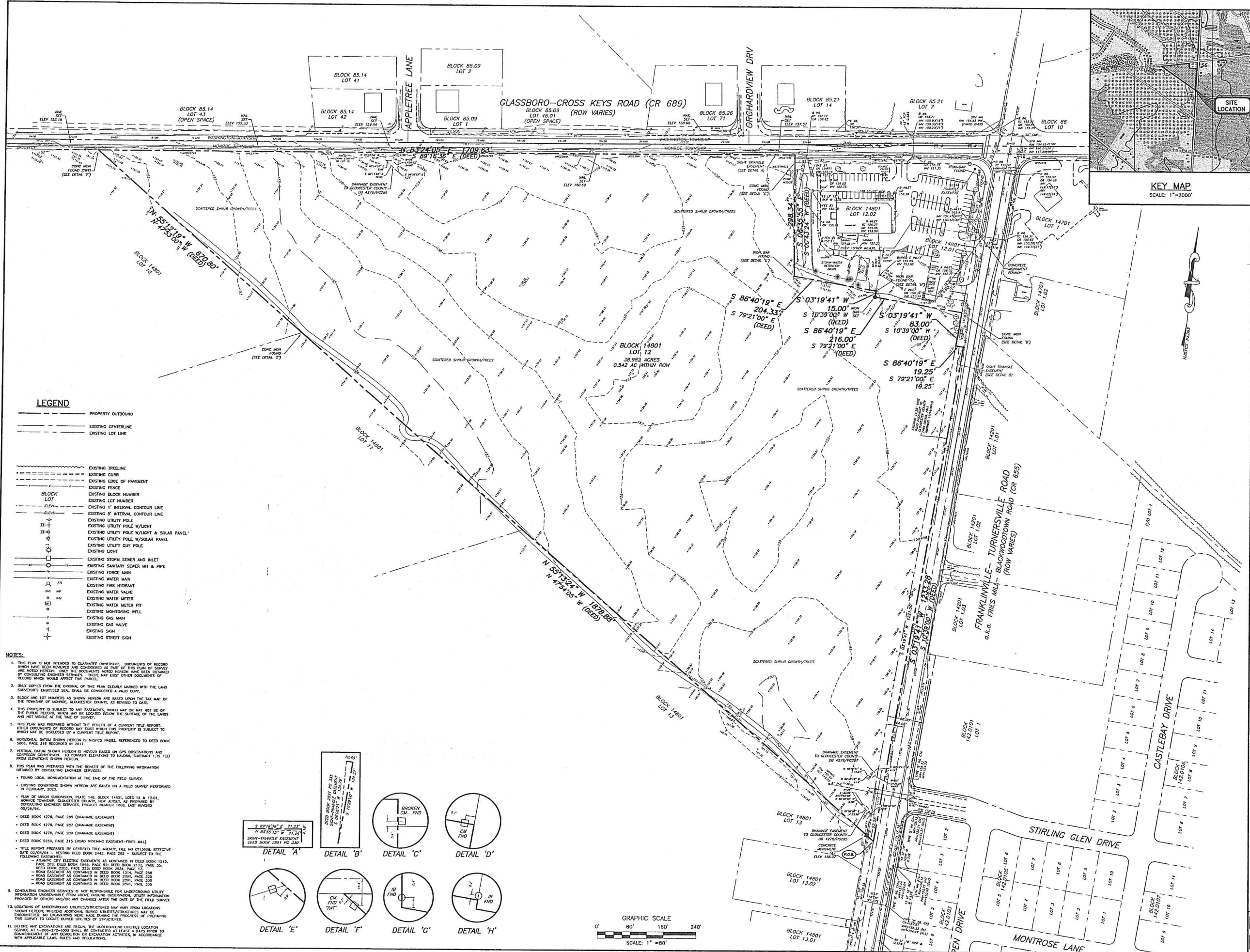
DATE 06/24/2020

ADAM R. GRANT
PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504335700

CONSULTING ENGINEER SERVICES
PROFESSIONAL ENGINEER
6145 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLEWELL, NEW JERSEY 08081
PHONE (609) 332-2200 - FAX (609) 332-2248 - EMAIL: aes@cesnj.com
WWW.CESNJ.COM, COMPANY OF ARCHITECTURE INC. #426787908

PREPARED BY: CES, FILE NO. 246504335700-2020-06-24, DRAWN BY: MTL

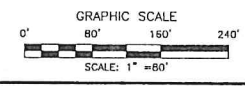
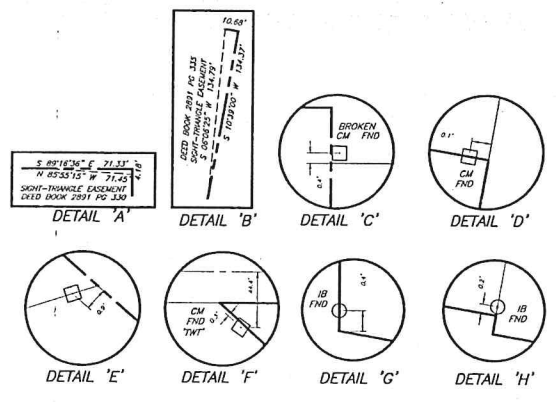
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LEGEND

---	PROPERTY OUTBOUND
---	EXISTING CENTERLINE
---	EXISTING LOT LINE
---	EXISTING TREELINE
---	EXISTING CURSE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	EXISTING BLOCK NUMBER
---	EXISTING LOT NUMBER
---	EXISTING 1' INTERVAL CONTOUR LINE
---	EXISTING 5' INTERVAL CONTOUR LINE
---	EXISTING UTILITY POLE
---	EXISTING UTILITY POLE W/LIGHT
---	EXISTING UTILITY POLE W/SOLAR PANEL
---	EXISTING UTILITY CUY POLE
---	EXISTING LIGHT
---	EXISTING STORM SEWER AND INLET
---	EXISTING SANITARY SEWER MH & PIPE
---	EXISTING FORCE MAIN
---	EXISTING WATER MAIN
---	EXISTING FIRE HYDRANT
---	EXISTING WATER VALVE
---	EXISTING WATER METER
---	EXISTING WATER METER PIT
---	EXISTING MONITORING WELL
---	EXISTING GAS MAIN
---	EXISTING GAS VALVE
---	EXISTING SIGN
---	EXISTING STREET SIGN

- NOTES:**
- THIS PLAN IS NOT INTENDED TO GUARANTEE OWNERSHIP. DOCUMENTS OF RECORD WHICH HAVE BEEN REVIEWED AND CONSIDERED AS PART OF THIS PLAN OF SURVEY ARE NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON HAVE BEEN OBTAINED BY CONSULTING ENGINEER SERVICES. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
 - ONLY COPIES FROM THE ORIGINAL OF THIS PLAN CLEARLY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED A VALID COPY.
 - BLOCK AND LOT NUMBERS AS SHOWN HEREON ARE BASED UPON THE TAX MAP OF THE TOWNSHIP OF MONROE, GLOUCESTER COUNTY, AS REVISED TO DATE.
 - THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, WHICH MAY OR MAY NOT BE OF THE PUBLIC RECORD, WHICH MAY BE LOCATED BELOW THE SURFACE OF THE LANDS AND NOT NOTED AT THE TIME OF SURVEY.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. OTHER DOCUMENTS OF RECORD MAY EXIST WHICH THIS PROPERTY IS SUBJECT TO WHICH MAY BE DISCLOSED BY A CURRENT TITLE REPORT.
 - HORIZONTAL DATUM SHOWN HEREON IS NAD83/83, REFERENCED TO DEED BOOK 308, PAGE 318 RECORDED IN 2017.
 - VERTICAL DATUM SHOWN HEREON IS NAVD83 BASED ON GPS OBSERVATIONS AND COMPARISON COMMISSION. ITS CORRECT ELEVATIONS TO MONROE SURVEY 1.35 FEET FROM ELEVATION SHOWN HEREON.
 - THIS PLAN WAS PREPARED WITH THE BENEFIT OF THE FOLLOWING INFORMATION OBTAINED BY CONSULTING ENGINEER SERVICES:
 - FOUND LOCAL MONUMENTATION AT THE TIME OF THE FIELD SURVEY.
 - EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY PERFORMED IN FEBRUARY, 2020.
 - PLAN OF WAGON SHEDS/SHED, PLATE 148, BLOCK 14801, LOTS 12 & 12.01, MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY, AS PREPARED BY CONSULTING ENGINEER SERVICES, PROJECT NUMBER 1800, LAST REVISED 02/24/19.
 - DEED BOOK 4276, PAGE 285 (DRAINAGE EASEMENT)
 - DEED BOOK 4276, PAGE 287 (DRAINAGE EASEMENT)
 - DEED BOOK 4276, PAGE 289 (DRAINAGE EASEMENT)
 - DEED BOOK 5259, PAGE 313 (ROAD WIDENING EASEMENT-FRIES MILL)
 - TITLE REPORT PREPARED BY CERTIFIED TITLE AGENCY, P.A. NO. 0710008, EFFECTIVE DATE 02/04/24 - VESTING DEED BOOK 2842, PAGE 223 - SUBJECT TO THE FOLLOWING EASEMENTS:
 - ATLANTIC CITY ELECTRIC EASEMENTS AS CONTAINED IN DEED BOOK 1515, PAGE 205; DEED BOOK 1888, PAGE 1712; DEED BOOK 2203, PAGE 223; DEED BOOK 2504, PAGE 17.
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2981, PAGE 328
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2981, PAGE 328
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2981, PAGE 328
 - ROAD EASEMENT AS CONTAINED IN DEED BOOK 2981, PAGE 328
 - CONSULTING ENGINEER SERVICES IS NOT RESPONSIBLE FOR UNDERGROUND UTILITY INFORMATION UNOBTAINABLE FROM ABOVE GROUND OBSERVATION. UTILITY INFORMATION PROVIDED BY OTHERS AND/OR ANY CHANGES AFTER THE DATE OF THE FIELD SURVEY.
 - LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. PHYSICAL ADDITIONAL BUNKS UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO ENCOUNTERS WERE MADE DURING THE PROCESS OF PREPARING THIS SURVEY TO LOCATE BURIED UTILITIES OF STRUCTURES.
 - BEFORE ANY EXCAVATIONS ARE BEGUN, THE UNDERGROUND UTILITIES LOCATION SERVICE (1-800-272-1000) SHALL BE CONTACTED AT LEAST 4 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR EXCAVATION ACTIVITIES, IN ACCORDANCE WITH APPLICABLE LAWS, RULES AND REGULATIONS.



PLAN OF SURVEY & TOPOGRAPHY

THE GREENS
 PLATE 148, BLOCK 14801, LOT 12
 MONROE TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
CONSULTING ENGINEER SERVICES
 PROJECT: GREENS CROSS KEYS ROAD, SUITE 11, SICKLEWELL, NEW JERSEY 08081
 PHONE (609) 328-2200 - FAX (609) 328-2448 - EMAIL: info@cesnj.com
 IN COMPLIANCE WITH THE PROFESSIONAL LAND SURVEYOR ACT, P.L. 1997, C. 128, AND THE REGULATIONS THEREUNDER, P.L. 2002, C. 128.

DATE: 02/23/2024 SCALE: 1"=80' FILE NO.: 2448-02-0001 DRAWN BY: AS

ADAM R. GRANT
 PROFESSIONAL LAND SURVEYOR, NEW JERSEY LICENSE NO. 246504-335700